



Proposed Replacement of Existing 19m Communications Pole with new 30m Monopole

Site: SRW Cowwarr Weir Dowlings Rd

Date: 12/08/2025

Revision: 1.1

Sheet 1 of 1

Drawn By: GB

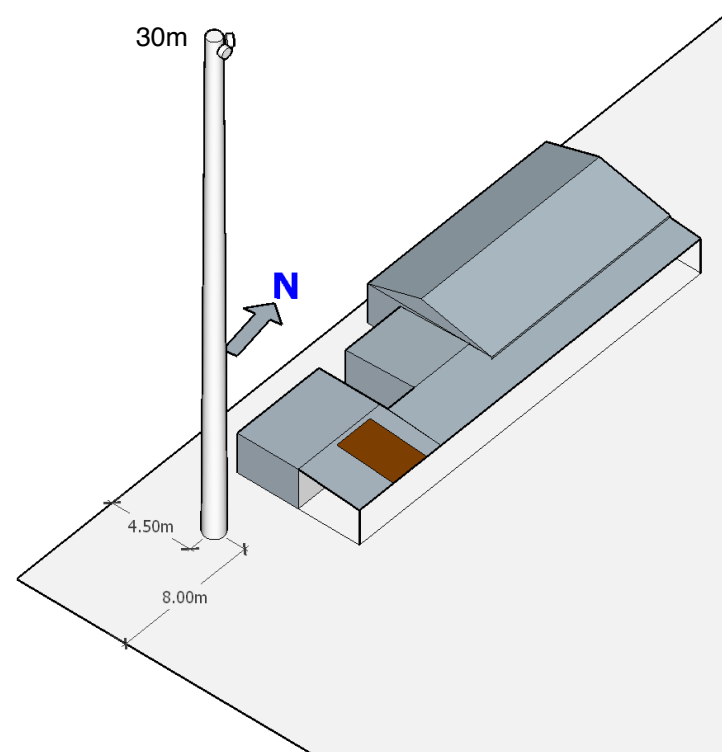
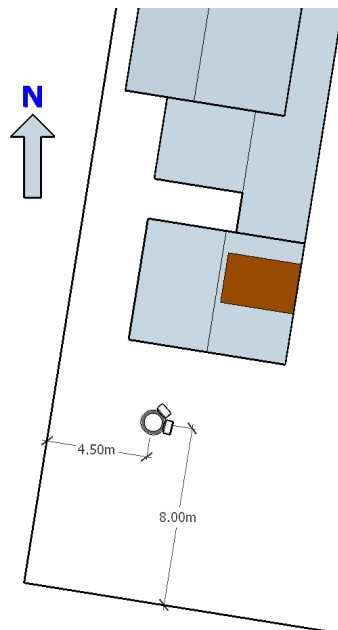
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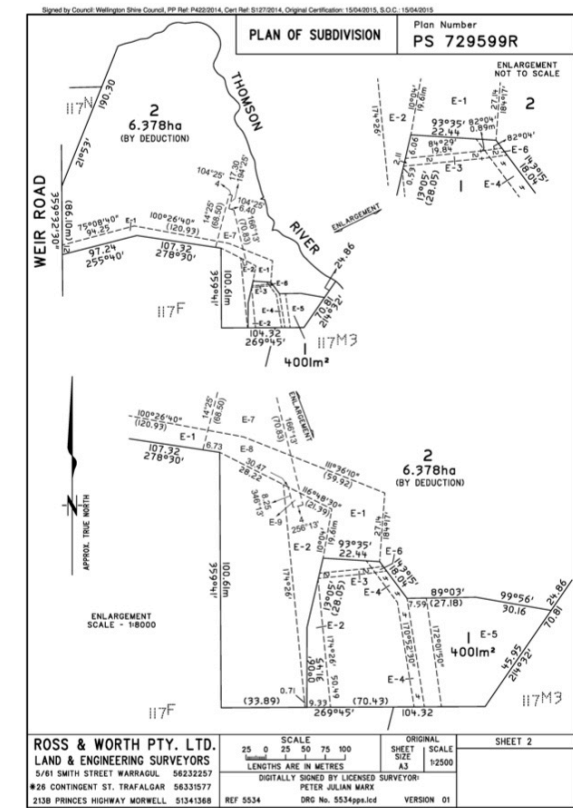
Google Earth Views

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Pole Location: -38.000710° S, 146.657317° E
All Dimensions from Existing Fence Line



Extract from Plan No PS 729599R

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Town Planning Report Proposed Monopole Cowwarr Weir

October 2025

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Proposal

This application seeks approval for a 30 metre monopole at the Southern Rural Water depot at Cowwarr Weir, which is located on Downings Road. The purpose of the proposed monopole is to improve line of site communication between facilities owned by Southern Rural Water. The proposed monopole is in the south-west area of the site and will be setback 8 metres from the southern boundary and 4.5 metres from the western boundary. The proposed monopole will contain communication equipment at the top of the monopole.

Site and Surrounds

The subject site is located on Downings Road and is approximately 200 metres east of Weir Road. The subject site has a building used as a depot located close to the south-west corner of the site and to the rear of this building is the existing monopole.

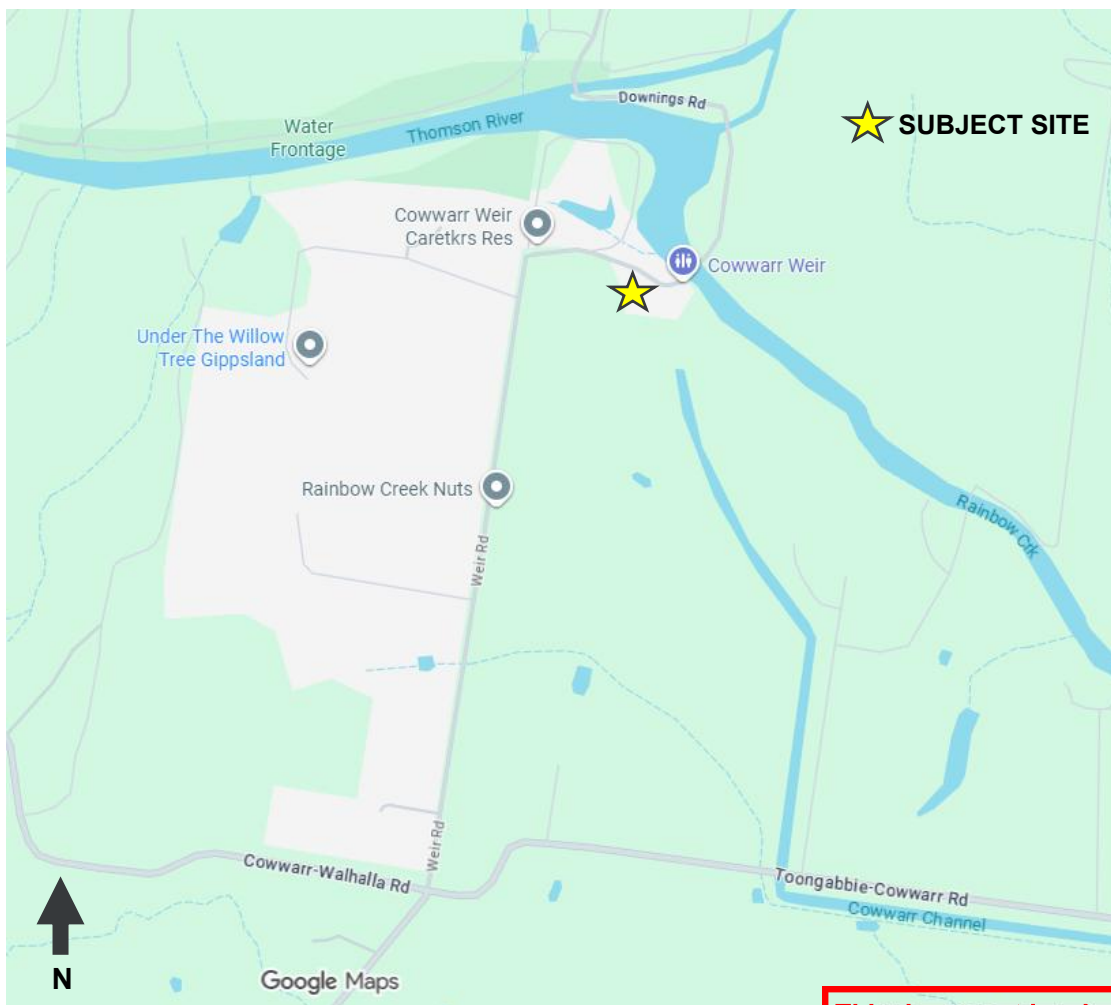


Figure 1. Locality map

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Figure 2. Aerial photograph showing the subject site and immediate surrounds. (Source: Google)

To the north of the subject site is Cowwarr Weir recreation reserve, which is located on the edge of the Thomson River.

To the immediate east is the former caretakers house for Cowwarr Weir, which is now privately owned.

The land to the immediate south and west is used for agricultural and the dwelling associated with this land use is located approximately 200 metres south-west of the subject site on Weir Road. There are also several dwellings located west of Weir Road.

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Figure 3. Photo of the subject site taken from Downings Road.



Figure 4. Another view of the subject site looking along the western boundary

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Figure 5. Photo of the subject site taken from Downings Road



Figure 6. This photo was taken on Weir Road, which is west of the subject site.

Commonwealth Legislation

Telecommunications (Low Impact Facilities) Determination 2018

The Telecommunications (Low Impact Facilities) Determination first came into effect on 1st July 1997 and has undergone a number of amendments with the most recent amendment being in March 2025.

The Determination contains a list of Telecommunications Facilities that the Commonwealth will continue to regulate. These are facilities that are essential to maintaining telecommunications networks and are unlikely to cause significant community disruption during their installation or operation.

These facilities are therefore considered to be 'Low impact' and do not require planning approval under State or Territory laws. Under this legislation, the proposal is defined as a 'telecommunications service' and a 'telecommunications network'

The proposed facility being a new monopole 'tower' however requires approval under State Planning legislation. This is due to the determination outlining that a 'tower that is not attached to a building' is unable to be considered for low impact consideration. Therefore, the proposed monopole tower requires a planning permit under the Wellington Planning Scheme Clause 52.19.

Planning Scheme

Planning Policy

Clause 19.03-4S (Telecommunications)

The objective of Clause 19.03-4S is:

To facilitate the orderly development, extension and maintenance of telecommunications infrastructure.

The following strategies at Clause 19.03-4S are relevant to this application:

- Facilitate the upgrading and maintenance of telecommunications facilities.
- Ensure that modern telecommunications facilities are widely accessible and that the telecommunications needs of business, domestic, entertainment and community services are met.

Zones

The subject site is affected by the Farming Zone and Public Use Zone – Schedule 1 (Service & Utility).

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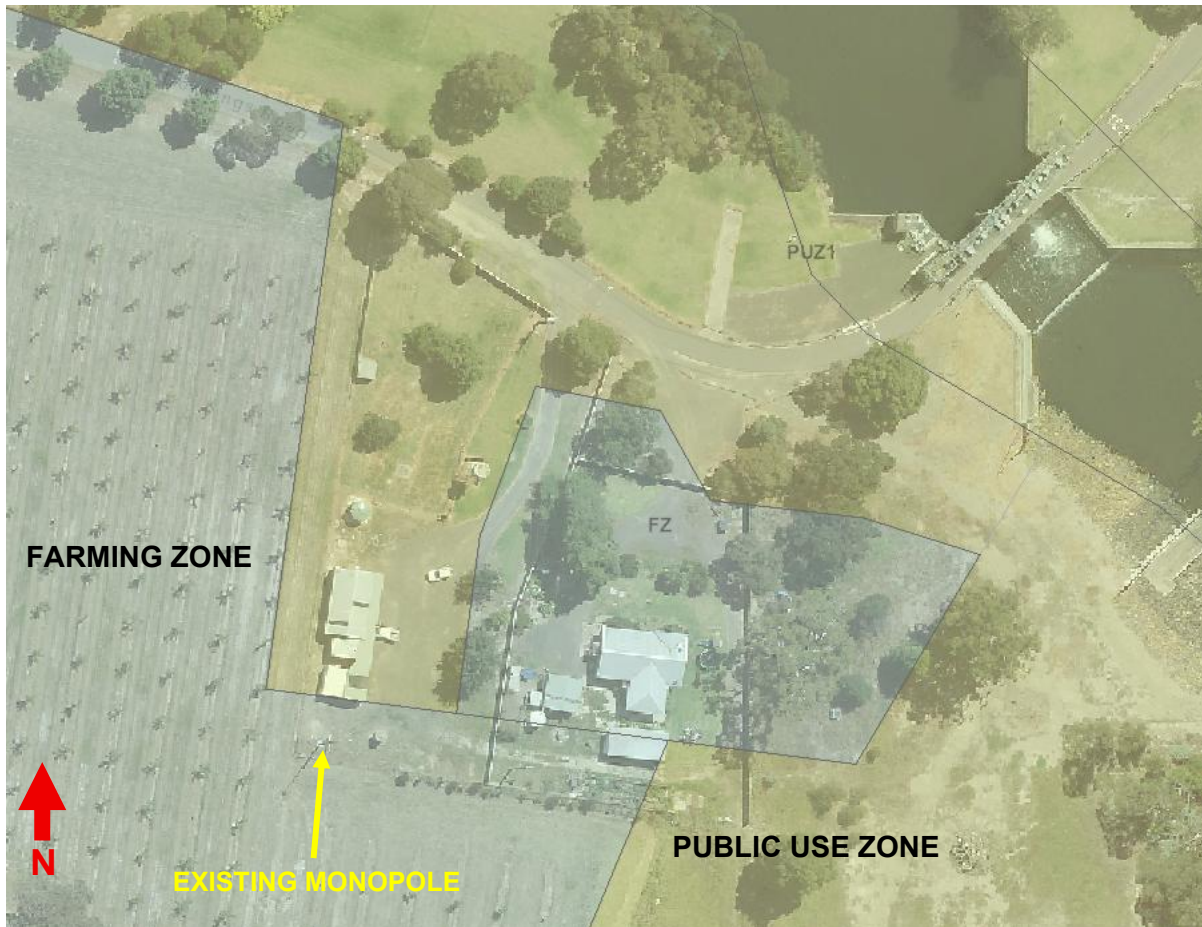


Figure 7. Planning zones.

Public Use Zone

As can be seen above in figure 7, the majority of the subject site is correctly zoned Public Use. However, the existing and proposed monopole are located in the Farming Zone. If the monopole is considered a building, which is not the opinion of Southern Rural Water, then a planning permit is required due to the construction of the monopole. The relevant decision guidelines in the Farming Zone that must be considered include:

- Whether the site is suitable for the use or development and whether the proposal is compatible with adjoining and nearby land uses.
- Whether the use or development will adversely affect soil quality or permanently remove land from agricultural production.
- The potential for the use or development to limit the operation and expansion of adjoining and nearby agricultural uses.
- The capacity of the site to sustain the agricultural use.

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- The need to locate buildings in one area to avoid any adverse impacts on surrounding agricultural uses and to minimise the loss of productive agricultural land.
- The impact of the siting, design, height, bulk, colours and materials to be used, on the natural environment, major roads, vistas and water features and the measures to be undertaken to minimise any adverse impacts.
- The location and design of existing and proposed infrastructure including roads, gas, water, drainage, telecommunications and sewerage facilities.

Particular Provisions

Clause 52.19 (Telecommunication Facility)

The purpose of Clause 52.19 is:

- To ensure that telecommunications infrastructure is provided in an efficient and cost-effective manner to meet community needs.
- To facilitate an effective state-wide telecommunications network consistent with proper and orderly planning.
- To support the provision of telecommunications facilities with minimal impact on the amenity of the area.

Pursuant to Clause 52.19-1, a planning permit is required to construct a building or construct or carry out works for a telecommunications facility. Clause 52.19-1 contains various exemptions for telecommunication facilities and none of these are applicable to this application. Of relevance to this application are the following exemptions at Clause 52.19-1:

- A low-impact facility specified in the Telecommunications (Low-impact Facilities) Determination 2018 (Cth).
- A telecommunications tower that replaces an existing telecommunications tower on the same land if the following requirements are met:
 - The tower must not be in a residential zone, or a Significant Landscape Overlay, Heritage Overlay or Neighbourhood Character Overlay.
 - The tower must not be more than 8 metres higher than the existing tower.

The Council must also give consideration of public notice as there is a dwelling to the immediate east of the subject site that is within 100 metres of the proposed telecommunication tower.

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General Provisions

Clause 62.01 – Uses not requiring a permit

Any requirement in this scheme relating to the use of land does not apply to:

- The use of land for telecommunications facility.

Clause 65 – Decision Guidelines

Clause 65.01 lists decision guidelines that the Council should consider and the following decision guidelines are applicable to this application:

- The matters set out in section 60 of the Act.
- Any significant effects the environment, including the contamination of land, may have on the use or development.
- The Municipal Planning Strategy and the Planning Policy Framework.
- The purpose of the zone, overlay or other provision.
- Any matter required to be considered in the zone, overlay or other provision.
- The orderly planning of the area.
- The effect on the environment, human health and amenity of the area.

Planning Assessment

Farming Zone

The subject site is not currently used for agricultural purposes and therefore the proposed monopole won't impact existing agricultural land. The proposed works will also not impact existing agricultural operations on adjoining land due to the minor scale and bulk of the proposal. The minimal girth of the monopole will ensure that the proposal will not have any detrimental impact to the broader landscape, which is dominated by agricultural land uses and public land to the north.

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Clause 52.19 (Telecommunication Facility)

The proposed telecommunication tower satisfies the objectives and decision guidelines at Clause 52.19 of the Scheme. The proposed monopole will improve the communication network used by Southern Rural Water. This will have a positive community benefit both in respect of everyday services but also in emergency situations. With the exception of the dwelling to the east, nearby dwellings are setback in excess of 200 metres from the proposed works. As previously mentioned, the minimal bulk and scale of the monopole will ensure that it won't have an impact on existing visual amenity enjoyed by the occupiers of nearby dwellings.

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