

EXISTING TREE TO REMAIN SHOWN THUS

TREE TO BE REMOVED SHOWN THUS

TPZ

TREE PROTECTION ZONE

SITE PLAN LEGEND:

BUILDING ENVELOPE

TELEPHONE

SUSPENDED STORMWATER

INGROUND STORMWATER

AGI DRAIN

SEWERAGE

GAS

ELECTRICITY

WATER

NBN

DOWNPIPE

INSPECTION OPENING

METERBOX

WATER METER

HOT WATER SERVICE

HABITABLE WINDOW

NON HABITABLE WINDOW

HABITABLE DOOR

NON HABITABLE DOOR

The site plan shows a proposed new residence on Lot 1, No. 21 Marina Drive. The residence has a footprint of 330m² and a site coverage of 26.9%. It features a deck, landing, and various rooms with doors and windows. The plan also shows existing structures like a timber shed and a single-storey timber dwelling. Surrounding lots include Lot 7 (946m²), Lot 8 (855m²), Lot 2 (330m²), Lot 3 (398m²), and Lot 11 (1.388ha). The plan includes various boundary lines, easements, and utility lines. A 9m overlooking arc is shown, and a floodway overlay extent is indicated. The plan also shows a concrete path, a nature strip, and a proposed crossover by the owner. The site is bounded by Marina Drive to the east and a floodway overlay to the west. The plan includes a north point and area calculations for the residence.

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



© COPYRIGHT

  
NORTH POINT

AREA CALCULATIONS

|              |                 |
|--------------|-----------------|
| LIVING       | 88.7            |
| DECK         | 15.2            |
| DECK         | 6.0             |
| LANDING      | 4.2             |
| <b>TOTAL</b> | <b>114.1 m²</b> |

PROJECT TITLE:  
MODIFIED BEAUMARIS - CUBEHAUS

OWNER NAME:

PROJECT ADDRESS:  
LOT 1, No. 21 MARINA DRIVE, LOCH SPORT, VIC, 3851

DRAWING TITLE:  
SITE PLAN

CONSTRUCTION DRAWINGS

|                         |                       |                  |
|-------------------------|-----------------------|------------------|
| DATE:<br>28/08/2026     | SCALE:<br>As Noted    | PAGE SIZE:<br>A3 |
| DRAWN BY:<br>WM         | CHECKED BY:<br>AG     |                  |
| PROJECT NUMBER:<br>0972 | SHEET No.:<br>4 of 26 | REVISION:<br>CD  |

CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE BUILDER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE BUILDER FOR CONSTRUCTION

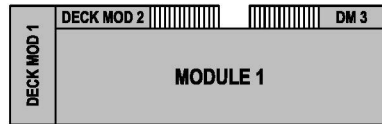
THESE DRAWINGS ARE DEEMED TO COMPLY WITH ALL STATUTORY BUILDING LEGISLATION, REGULATIONS & CODES RELEVANT TO THE SITE  
(Vic. DB-U 2108)(CB-L 43089)  
(NSW. 174651C)

OWNER APPROVAL  
OWNER'S SIGNATURE:

BUILDER SIGNATURE:

THESE ARE THE PLANS REFERRED TO IN CONTRACT DATED:

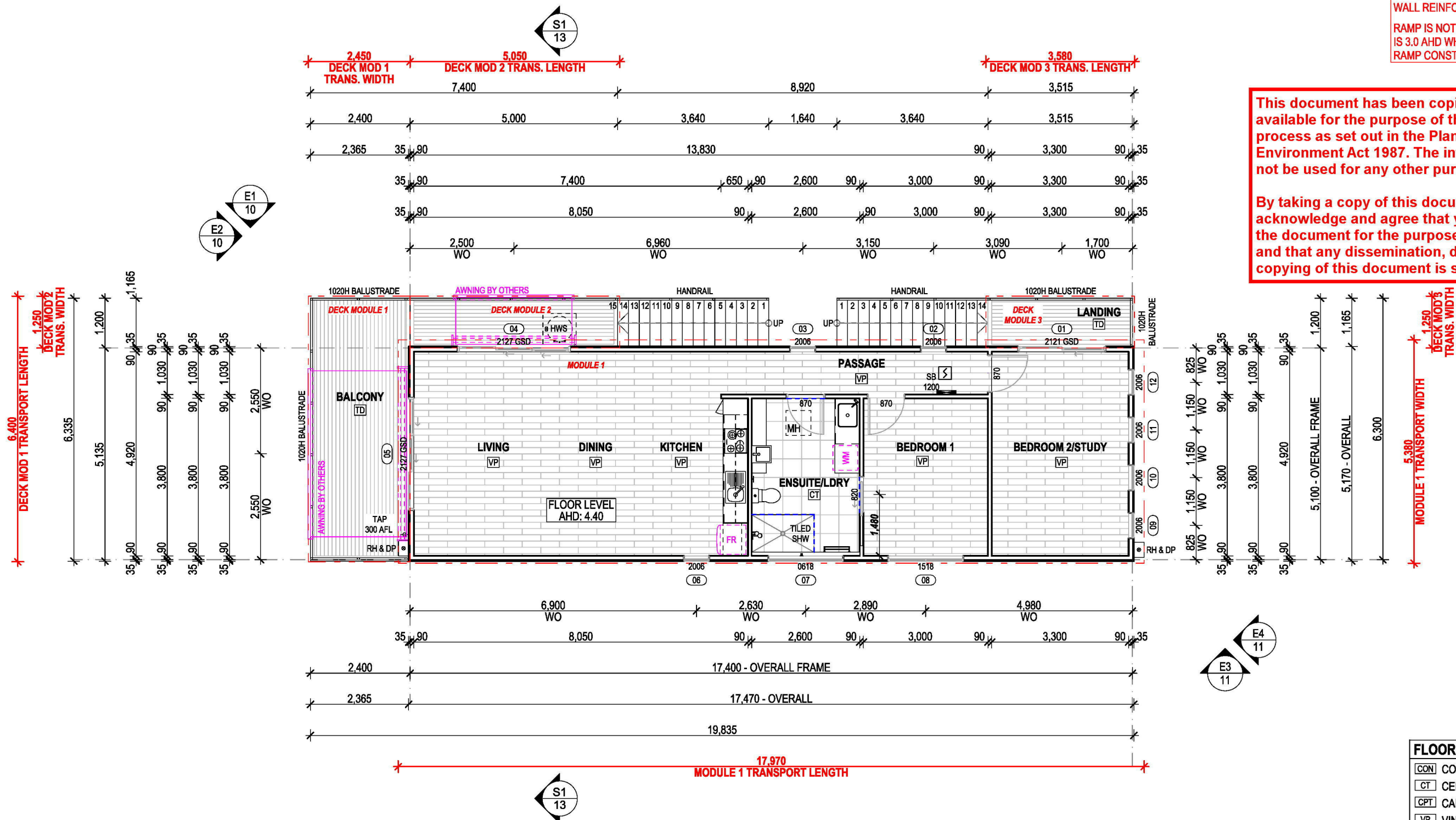
Page 1 of 5



**NOTE:**  
LIVABLE HOUSING DESIGN CLAUSE 5.1 PRINCIPLES APPLY TO BATH. PROVIDE STEP-FREE ENTRY TO SHOWER AS REQUIRED.  
  
LIVABLE HOUSING DESIGN CLAUSE 6.1 PRINCIPLES APPLY TO BATH & WC. PROVIDE WALL REINFORCING AS REQUIRED.  
  
RAMP IS NOT REQUIRED AS THE MINIMUM FFL IS 3.0 AHD WHICH EXCEEDS REASONABLE RAMP CONSTRUCTION REGULATIONS.

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



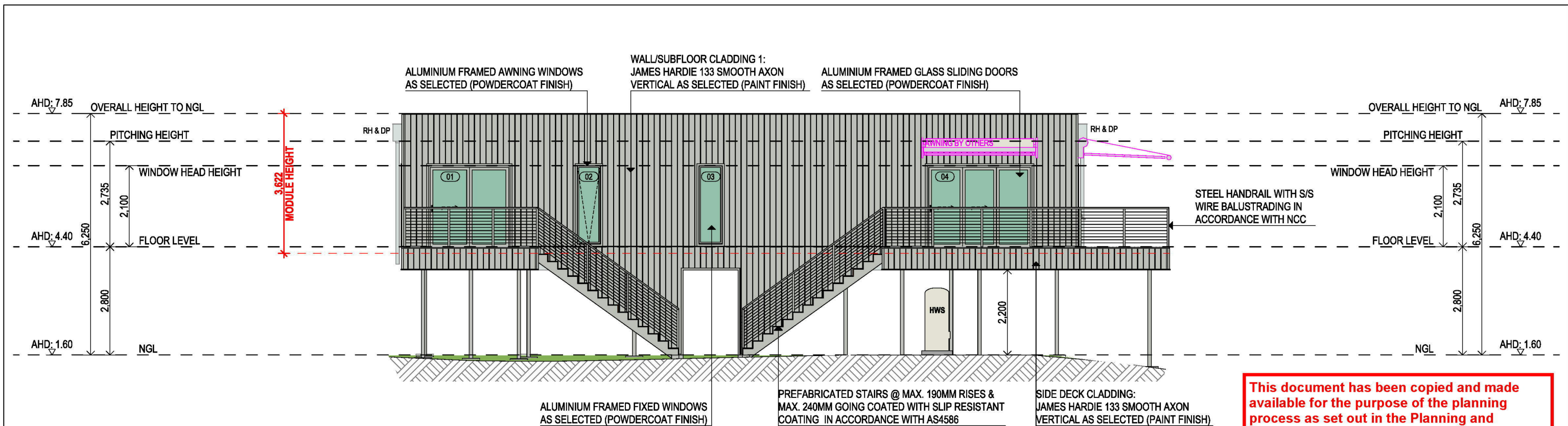
1 FLOOR PLAN  
SCALE: 1:100

**FLOOR PLAN LEGEND:**

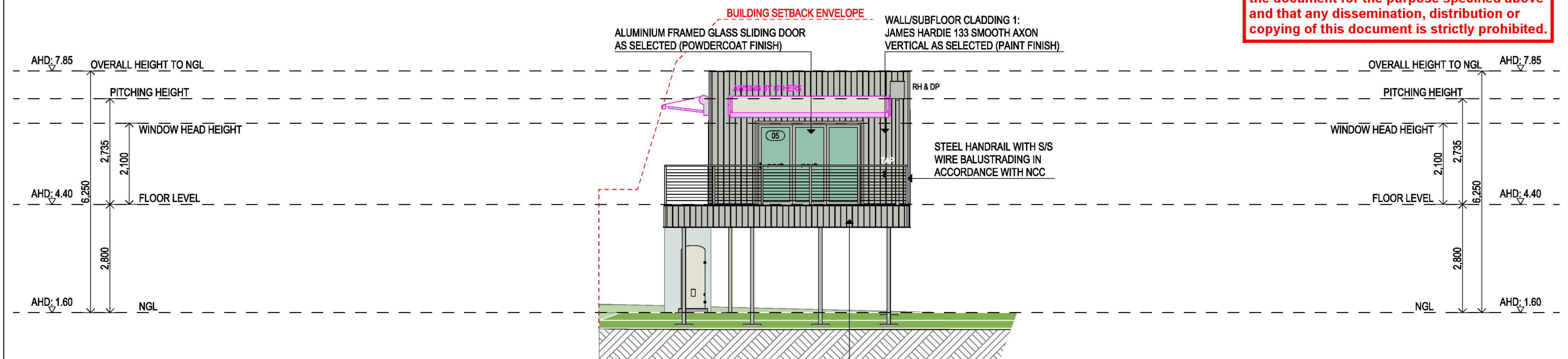
- CON CONCRETE SLAB
- CT CERAMIC TILES
- CPT CARPET
- VP VINYL PLANK FLOORING
- OAK ENG. OAK FLOORING
- TD TIMBER DECKING
- DP DOWN PIPE
- SP SPREADER
- RH RAINHEAD
- DC DIRECTION CHANGE



|                                                    |  |                                                                                                                                                                                                                                    |  |                                                                                   |  |                                                                       |  |                              |                    |               |                 |
|----------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|-----------------------------------------------------------------------------------|--|-----------------------------------------------------------------------|--|------------------------------|--------------------|---------------|-----------------|
| <b>OWNER APPROVAL</b><br>OWNER'S SIGNATURE:        |  | CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE BUILDER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE BUILDER FOR CONSTRUCTION |  | <b>AREA CALCULATIONS</b>                                                          |  | <b>PROJECT TITLE:</b><br>MODIFIED BEAUMARIS - CUBEHAUS                |  | <b>CONSTRUCTION DRAWINGS</b> |                    |               | <br>© COPYRIGHT |
| BUILDER SIGNATURE:                                 |  | THESE DRAWINGS ARE DEEMED TO COMPLY WITH ALL STATUTORY BUILDING LEGISLATION, REGULATIONS & CODES RELEVANT TO THE SITE (Vic. DB-U 2108)(CB-L 43089) (NSW. 174651C)                                                                  |  | LIVING 88.7<br>DECK 15.2<br>DECK 6.0<br>LANDING 4.2<br><b>114.1 m<sup>2</sup></b> |  | OWNER NAME:                                                           |  | DATE: 28/08/2026             | SCALE: As Noted    | PAGE SIZE: A3 |                 |
| THESE ARE THE PLANS REFERRED TO IN CONTRACT DATED: |  |                                                                                                                                                                                                                                    |  |                                                                                   |  | PROJECT ADDRESS:<br>LOT 1, No. 21 MARINA DRIVE, LOCH SPORT, VIC, 3851 |  | DRAWN BY: WM                 | CHECKED BY: AG     |               |                 |
|                                                    |  |                                                                                                                                                                                                                                    |  |                                                                                   |  | DRAWING TITLE:<br>FLOOR PLAN                                          |  | PROJECT NUMBER: 0972         | SHEET No.: 7 of 26 | REVISION: CD  |                 |



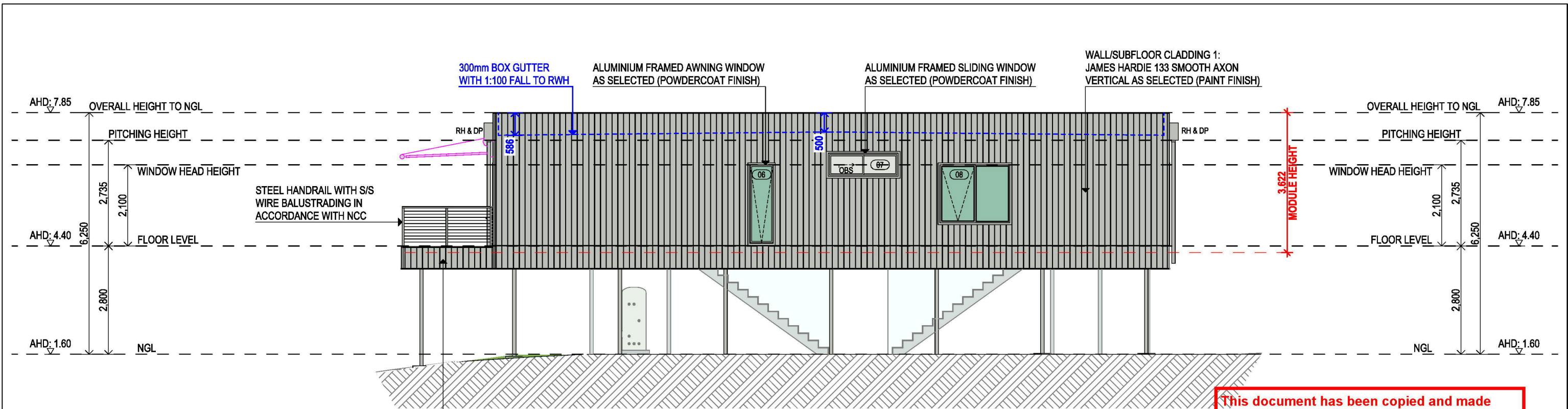
E1 NORTH ELEVATION  
SCALE: 1:100



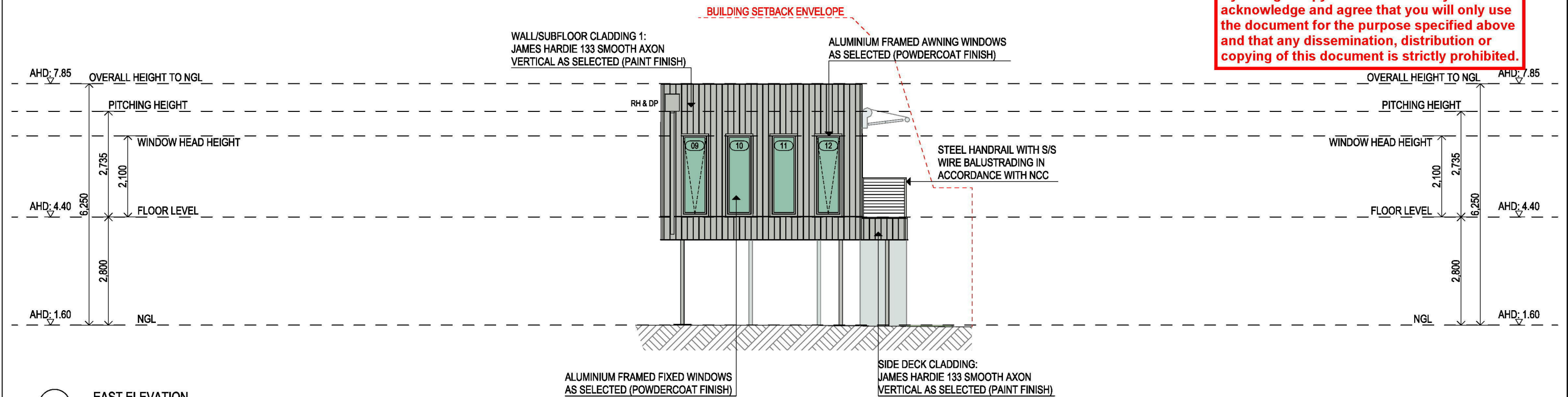
E2 WEST ELEVATION  
SCALE: 1:100

FOR CLARITY PURPOSES THIS PAGE  
IS TO BE PRINTED IN COLOUR ONLY

|                                                                                    |                                             |                                                    |                                                                                                                                                                                                                                    |                                                                                                            |                                                                                                                                                                                                                                        |                              |                     |               |
|------------------------------------------------------------------------------------|---------------------------------------------|----------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|---------------------|---------------|
|  | <b>OWNER APPROVAL</b><br>OWNER'S SIGNATURE: |                                                    | CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE BUILDER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE BUILDER FOR CONSTRUCTION | <b>AREA CALCULATIONS</b><br><br>LIVING 88.7<br>DECK 15.2<br>DECK 6.0<br>LANDING 4.2<br><br><b>114.1 m²</b> | <b>PROJECT TITLE:</b><br><br>MODIFIED BEAUMARIS - CUBEHAUS<br><br><b>OWNER NAME:</b><br><div></div><br><br><b>PROJECT ADDRESS:</b><br>LOT 1, No. 21 MARINA DRIVE, LOCH SPORT, VIC, 3851<br><br><b>DRAWING TITLE:</b><br><br>ELEVATIONS | <b>CONSTRUCTION DRAWINGS</b> |                     |               |
|                                                                                    | <b>BUILDER SIGNATURE:</b>                   | THESE ARE THE PLANS REFERRED TO IN CONTRACT DATED: | THESE DRAWINGS ARE DEEMED TO COMPLY WITH ALL STATUTORY BUILDING LEGISLATION, REGULATIONS & CODES RELEVANT TO THE SITE<br>(Vic. DB-U 2108)(CB-L 43089)<br>(NSW. 174651C)                                                            |                                                                                                            |                                                                                                                                                                                                                                        | DATE: 28/08/2026             | SCALE: As Noted     | PAGE SIZE: A3 |
|                                                                                    |                                             |                                                    |                                                                                                                                                                                                                                    |                                                                                                            |                                                                                                                                                                                                                                        | DRAWN BY: WM                 | CHECKED BY: AG      |               |
|                                                                                    |                                             |                                                    |                                                                                                                                                                                                                                    |                                                                                                            |                                                                                                                                                                                                                                        | PROJECT NUMBER: 0972         | SHEET No.: 10 of 26 | REVISION: CD  |
|                                                                                    |                                             |                                                    |                                                                                                                                                                                                                                    |                                                                                                            |                                                                                                                                                                                                                                        | © COPYRIGHT                  |                     |               |



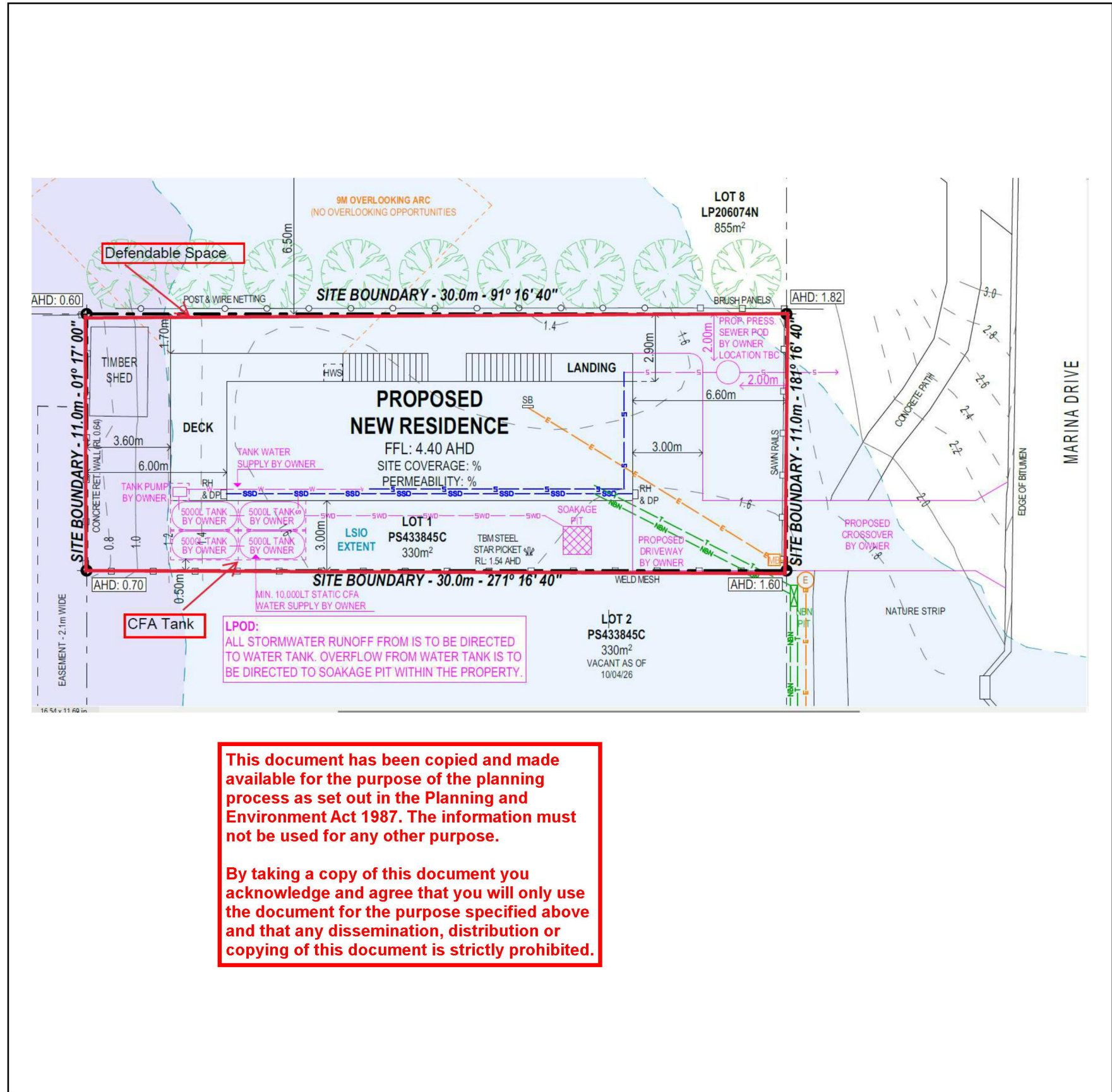
E3 SOUTH ELEVATION  
SCALE: 1:100



E4 EAST ELEVATION  
SCALE: 1:100

FOR CLARITY PURPOSES THIS PAGE  
IS TO BE PRINTED IN COLOUR ONLY

|                                                                                    |                                                                       |  |                                                                                                                                                                                                                                    |                          |                                     |                                                        |                                                                              |                              |             |            |  |
|------------------------------------------------------------------------------------|-----------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|-------------------------------------|--------------------------------------------------------|------------------------------------------------------------------------------|------------------------------|-------------|------------|--|
|  | <b>OWNER APPROVAL</b><br>OWNER'S SIGNATURE:                           |  | CONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS AND VERIFY ALL ERRORS AND OMISSIONS TO THE BUILDER. DO NOT SCALE THE DRAWINGS. DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION PURPOSES UNTIL ISSUED BY THE BUILDER FOR CONSTRUCTION | <b>AREA CALCULATIONS</b> |                                     | <b>PROJECT TITLE:</b><br>MODIFIED BEAUMARIS - CUBEHAUS |                                                                              | <b>CONSTRUCTION DRAWINGS</b> |             |            |  |
|                                                                                    | BUILDER SIGNATURE: THESE ARE THE PLANS REFERRED TO IN CONTRACT DATED: |  | THESE DRAWINGS ARE DEEMED TO COMPLY WITH ALL STATUTORY BUILDING LEGISLATION, REGULATIONS & CODES RELEVANT TO THE SITE<br>(Vic. DB-U 2108)(CB-L 43089)<br>(NSW. 174651C)                                                            | LIVING                   | 88.7                                | <b>OWNER NAME:</b><br>[REDACTED]                       | <b>PROJECT ADDRESS:</b><br>LOT 1, No. 21 MARINA DRIVE, LOCH SPORT, VIC, 3851 | DATE:                        | SCALE:      | PAGE SIZE: |  |
|                                                                                    |                                                                       |  |                                                                                                                                                                                                                                    | DECK                     | 15.2                                |                                                        |                                                                              | 28/08/2026                   | As Noted    | A3         |  |
|                                                                                    |                                                                       |  |                                                                                                                                                                                                                                    | DECK                     | 6.0                                 |                                                        |                                                                              | DRAWN BY:                    | CHECKED BY: |            |  |
|                                                                                    |                                                                       |  |                                                                                                                                                                                                                                    | LANDING                  | 4.2                                 |                                                        |                                                                              | WM                           | AG          |            |  |
|                                                                                    |                                                                       |  |                                                                                                                                                                                                                                    | <b>114.1 m²</b>          | <b>DRAWING TITLE:</b><br>ELEVATIONS | <b>0972</b>                                            | <b>11 of 26</b>                                                              | <b>CD</b>                    | © COPYRIGHT |            |  |



**Mandatory Condition**

The bushfire protection measures forming part of this permit or shown on the endorsed plans, including those relating to construction standards, defendable space, water supply and access, must be maintained to the satisfaction of the responsible authority on a continuing basis. This condition continues to have force and effect after the development authorised by this permit has been completed

**a) Defendable Space**

Defendable space is provided for a distance of 30 metres around the dwelling or to the property boundary whichever is the lesser and managed in accordance with the following:

- Grass must be short cropped and maintained during the declared fire danger period.
- All leaves and vegetation debris must be removed at regular intervals during the declared fire danger period.
- Within 10 metres of a building, flammable objects must not be located close to the vulnerable parts of the building.
- Plants greater than 10 centimetres in height must not be placed within 3m of a window or glass feature of the building.
- Shrubs must not be located under the canopy of trees.
- Individual and clumps of shrubs must not exceed 5 sq. metres in area and must be separated by at least 5 metres.
- Trees must not overhang or touch any elements of the building.
- The canopy of trees must be separated by at least 2 metres.
- There must be a clearance of at least 2 metres between the lowest tree branches and ground level.

**b) Construction Standard**

Dwelling designed and constructed to a minimum Bushfire Attack Level of BAL – 29

**c) Water Supply**

The following requirements apply:

- An effective capacity of 2,500 litres.
- Be stored in an above ground water tank constructed of concrete or metal.
- Have all fixed above ground water pipes and fittings required for firefighting purposes made of corrosive resistant metal.
- Include a separate outlet for occupant use.

Where a 10,000 litre water supply is required, the following fire authority fittings and access must be provided:

- Be readily identifiable from the building or appropriate identification signage to the satisfaction of the relevant fire authority.
- Be located within 60 metres of the outer edge of the approved building.
- The outlet/s of the water tank must be within 4 metres of the accessway and unobstructed.
- Incorporate a separate ball or gate valve (British Standard Pipe (BSP 65 millimetre) and coupling (64 millimetre CFA 3 thread per inch male fitting).
- Any pipework and fittings must be a minimum of 65 millimetres (excluding the CFA coupling).

**d) Access**

Access Required: No ☒

Yes ☐ The following design and construction requirements apply:

- All-weather construction.
- A load limit of at least 15 tonnes.
- Provide a minimum trafficable width of 3.5 metres.
- Be clear of encroachments for at least 0.5 metres on each side and at least 4 metres vertically.
- Curves must have a minimum inner radius of 10 metres.
- The average grade must be no more than 1 in 7 (14.4%) (8.1°) with a maximum grade of no more than 1 in 5 (20%) (11.3°) for no more than 50 metres.
- Dips must have no more than a 1 in 8 (12.5%) (7.1°) entry and exit angle.

**Length of access is greater 100 metres:** Yes ☐ No ☐

Where length of access is greater than 100 metres the following design and construction requirements apply:

- A turning circle with a minimum radius of eight metres, or
- A driveway encircling the building, or
- The provision of other vehicle turning heads – such as a T or Y Head – which meet the specification of Austroad Design for an 8.8 metre service vehicle.

**Length of driveway is greater than 200 metres:** Yes ☐ No ☐

Where length of access is greater than 100 metres the following design and construction requirement applies:

- Passing bays are required at least every 200 metres that are a minimum 20 metres long and a minimum trafficable width of 6 metres.

Prepared by:

ANCHOR HOMES

Version: 1

Date: 17.8.2026