# SITE PLAN NOTE:

BUILDER TO VERIFY ALL BOUNDARY DIMENSIONS PRIOR TO SETTING OUT.

NO BUILDING WORKS ARE TO ENCROACH OVER THE TITLE BOUNDARY INCLUSIVE OF ANY EQUIPMENT USED ON, OVER, UNDER OR IN AIR SPACE OF THE ADJOINING PROPERTIES WITHOUT OBTAINING ADJOINING OWNERS CONSENT VIA PROTECTION WORKS NOTICES PURSUANT TO PART 7 OF THE BUILDING ACT 1993 & BUILDING REGULATION 602.

DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION.

SEWERAGE AND SULLAGE TO CONNECT TO SEWERAGE MAIN AS DIRECTED BY LOCAL AUTHORITIES

SITE TO BE SCRAPED LEVEL OVER PROPOSED BUILDING AREA WITH FINISHED GROUND TO BE GRADED AWAY FROM BUILDING.

BEFORE & DURING CARRYING OUT OF BUILDING WORK & EXCAVATIONS
THE ALLOTMENT SHOULD BE FENCED OR OTHERWISE GUARDED AGAINST BEING A DANGER TO LIFE OR PROPERTY.

THE MAXIMUM GRADIENT OF THE DRIVEWAY SHALL NOT EXCEED 1:5.

## STORMWATER DRAIN NOTE:

PROVIDE **90mm** DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.

PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES.

DISCHARGE STORMWATER AS ACCEPTED BY LOCAL AUTHORITIES.

# **CUT TO:**

CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° MAX. UNLESS OTHERWISE INDICATED. CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO TOE OF BATTER BY 75mm MIN.

AG DRAIN TO BASE OF CUT AND CONNECTED TO SILT PIT. SILT PIT TO BE CONNECTED TO STORMWATER.

# **EXCAVATION NOTE:**

BUILDER TO CHECK EXCAVATION LEVELS ON SITE PRIOR TO COMMENCEMENT.

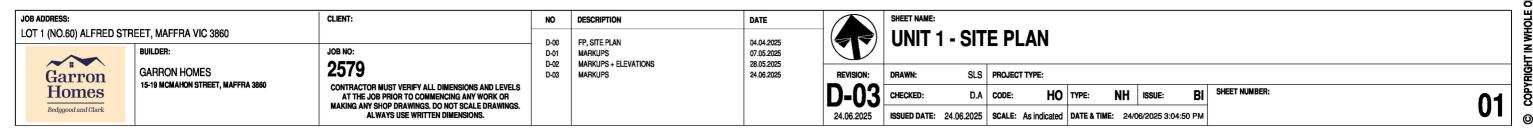
#### **EXISTING DWELLING** This document has been copied and made available for the purpose of the planning 8.00 m process as set out in the Planning and Environment Act 1987. The information must **UNIT 1** not be used for any other purpose. SITE ANALYSIS **EXISTING** By taking a copy of this document you TOTAL SITE AREA CARPORT cknowledge and agree that you will only use RESIDENCE he document for the purpose specified above 2.00 m and that any dissemination, distribution or 10.00 m **EXISTING SMALL SHED** APPROX copying of this document is strictly prohibited Ε GARAGE 0.20 ALFRESCO 26.06M APPROX 18.20M APPROX PORCH NS38.69 NS38.98 E ₽ 7M DIAMETER OF FOLIAGE 4.45 m LOT 1A 2.00M -1.60 m 395 SQM SITE COVERAGE: **APPROX** PERMEABILITY 5.22 m STRE 4.50m FRONT 7m TREE FOLAGE DIAMETER 2.45 m **SETBACK** 20.11M APPRO) FED $\oplus$ PROPOSED UNIT 1 PROPOSED UNIT 2 EXISTING SMALL TREE FFL: 39.10m AHD 2.00 n FFL: 39.05m AHD LOT 1B 499 SQM E H 7.71 m 11.80 TRE OF 1 UNIT 2 POWER PI SITE ANALYSIS 8 TO CEN 6.47 m TOTAL SITE AREA 23.02M APPROX WALL 200mm OFF B'DARY RESIDENCE 4.63 mAPPROX NS39.01 GARAGE SETBACK NS38.94 GARAGE/LAUNDRY 44.66M APPROX ALFRESCO 2 9.50 m 4.84 m 10.90 m 0.20 STORAGE WALL 200mm OFF BOUNDARY TO CENTRE OF TREE TRUNK PORCH 1 PORCH 2 LOT 2 SITE COVERAGE: **EXISTING DWELLING** 4.45 m PERMEABILITY

# **DWELLING ACCESS NOTE:**

THE DWELLING SHOULD PROVIDE SAFE AND EASY ACCESS (ALSO REFERRED TO AS 'STEP-FREE ACCESS PATH) FROM THE PEDESTRIAN ENTRY AT ALLOTMENT BOUNDARY, APPURTENANT CLASS 10A GARAGE/ CARPORT OF A DESIGNATED CAR PARKING SPACE FOR THE EXCLUSIVE USE BY DWELLING OCCUPANTS.

- ACCESS PATH TO BE:
  1) CONNECT TO THE DEFINED ENTRANCE DOOR (820 MIN. CLEAR OPENING)
  2) STEP-FREE
- 3) 1000 MIN WIDE
- 4) GATE WITHIN THE PATH TO BE 820 MIN. CLEAR OPENING IF PROVIDED
- 5) RAMP: 1000 MIN. WIDE; 1:14 TO 1:20 GRADIENT; 1200 MIN. LONG LANDING WITH CROSSFALL SHALLOWER THAN 1:40
  6) SINGLE STEP RAMP; 1000 MIN. WIDE: 1:10 MAX GRADIENT: 190 MAX HEIGHT; 1900 MAX LENGTH

REFER TO NCC VOLUME 2. H8PA(A). H8D2(1), H8D(2) & PART OF THE STANDARD.



395.00 m<sup>2</sup>

149.75 m<sup>2</sup>

12.85 m<sup>2</sup>

212.03 m<sup>2</sup>

182.97 m<sup>2</sup>

499.00 m<sup>2</sup>

129.06 m<sup>2</sup>

46.99 m<sup>2</sup>

12.43 m<sup>2</sup>

14.61 m<sup>2</sup>

4.53 m<sup>2</sup>

3.18 m<sup>2</sup>

210.80 m<sup>2</sup>

288.20 m<sup>2</sup>

42.24%

57.76%

53.68%

46.32%

# **UNIT 1 AREA SCHEDULE**

NAME	AMEA
RESIDENCE	149.75 m²
GARAGE	39.76 m²
ALFRESCO	12.85 m²
Porch	9.67 m²
	040.00

## TIMBER FRAMING NOTE:

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH THE CURRENT NCC & COMPLY WITH AS1684 - 2021.

## CONSTRUCTION JOINTS NOTE:

VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4773.

REFER TO ENGINEER'S PLANS FOR PLACEMENT.

# WINDOW SIZE NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL.
BUILDER TO USE WINDOW MANUFACTURER'S NEAREST

## **DWELLING ACCESS NOTE:**

THE DWELLING SHOULD PROVIDE SAFE AND EASY ACCESS (ALSO REFERRED TO AS 'STEP-FREE ACCESS PATH') FROM THE PEDESTRIAN ENTRY AT ALLOTMENT BOUNDARY, APPURTENANT CLASS 10A GARAGE/
CARPORT OF A DESIGNATED CAR PARKING SPACE FOR THE EXCLUSIVE USE BY DWELLING OCCUPANTS.

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- 6) SINGLE STEP RAMP; 1000 MIN. WIDE; 1:10 MAX GRADIENT; 190 MAX HEIGHT; 1900 MAX LENGTH

REFER TO NCC VOLUME 2. H8PA(A). H8D2(1), H8D(2) & PART OF THE STANDARD.

# REINFORCEMENT NOTE:

BATHROOM/POWDER ROOM TO HAVE PLY AND OR NOGGING REINFORCEMENT TO COMPLY WITH PART 6 OF THE LIVABLE HOUSING DESIGN REGULATIONS.

# FLOOR PLAN LEGEND:

EXHAUST FAN (DISCHARGE TO OUTSIDE AIR)

S SMOKE ALARM (INTERCONNECTED) DP

DOWNPIPE LOCATION

RAINWATER HEAD LOCATION RH

MANHOLE (CEILING ACCESS)

ELECTRICAL METERBOARD (TBD ON SITE)

HOT WATER SERVICE

─W WATER POINT

──○ EXTERNAL TAP

**UBO** UNDER BENCH OVEN

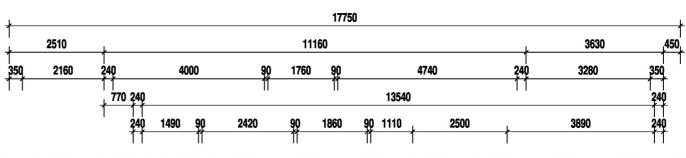
BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY, ENGINEER'S STRUCTURAL ASSESSMENT. 900x1200 MINIMUM CIRCULATION SPACE IN

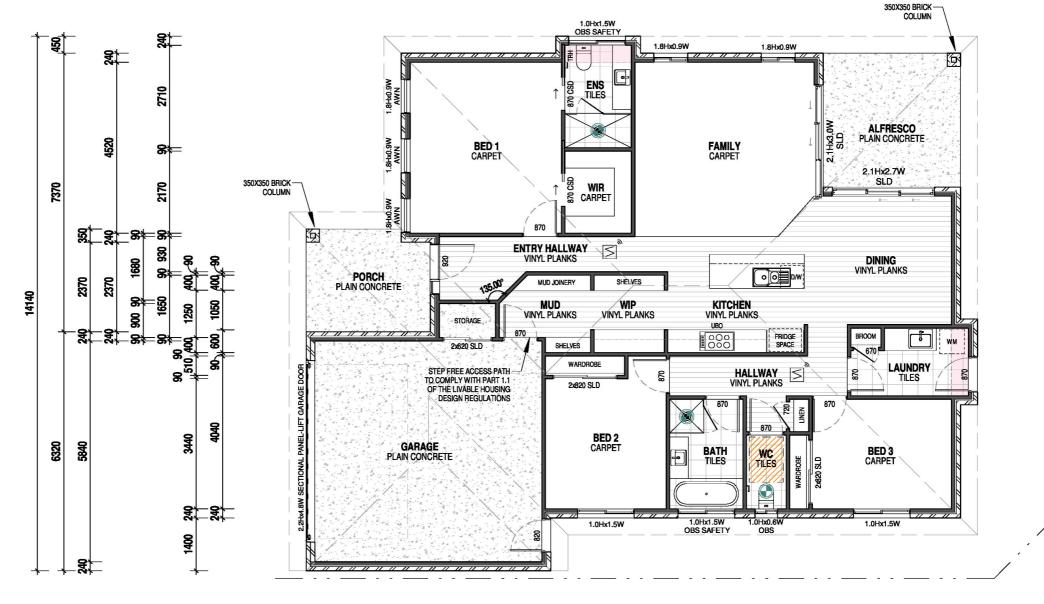
FRONT OF TOILET, AS PER PART 6.4 OF THE NCC LIVABLE HOUSING DESIGN

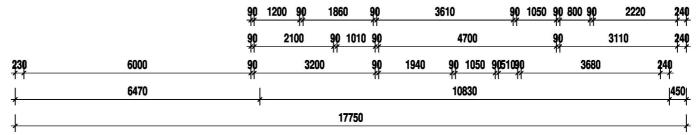
BULKHEAD OVER

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212.03 m<sup>2</sup> By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.









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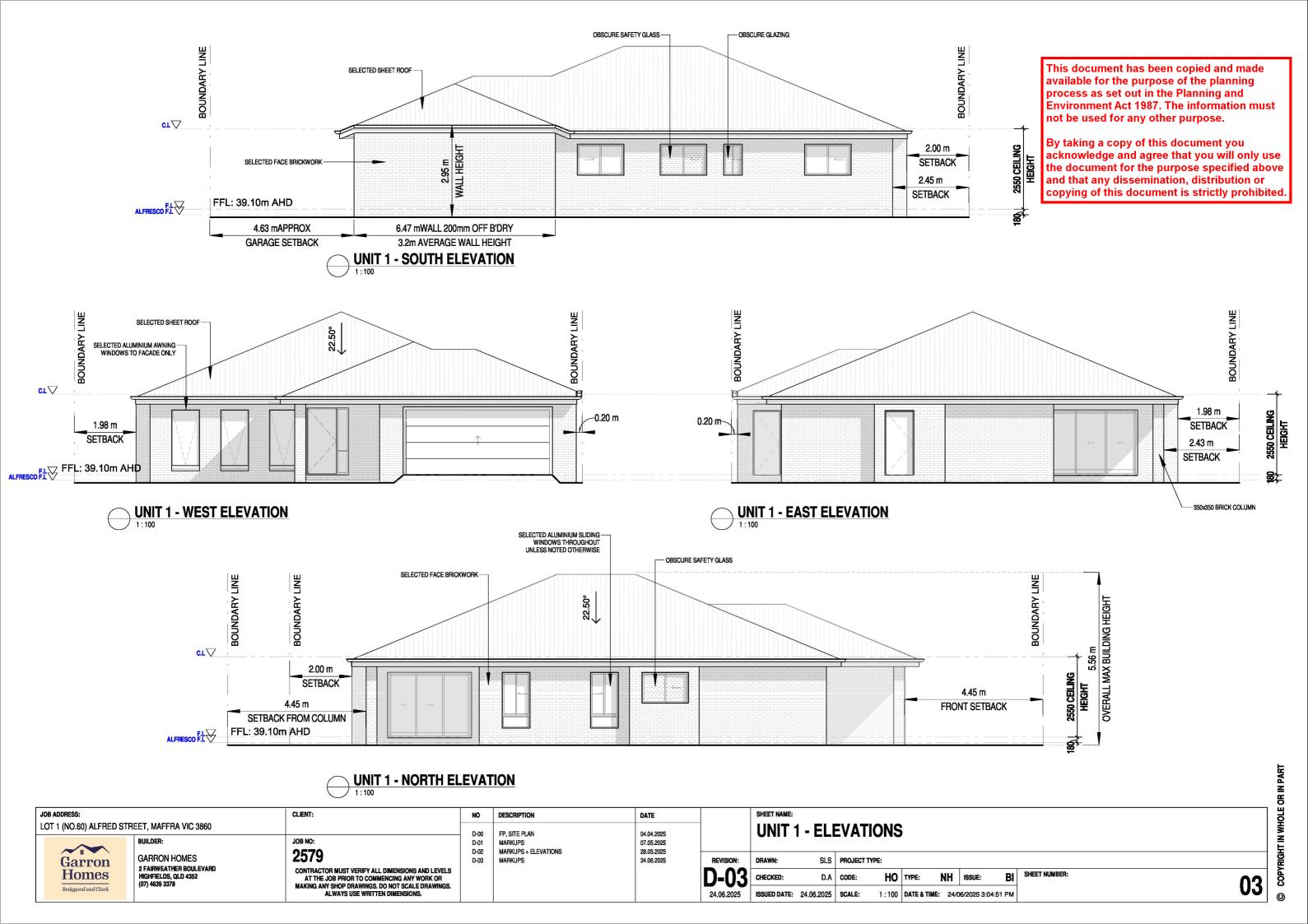
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# **ELECTRICAL LEGEND**

- BATTEN LIGHT POINTS
- LED DOWNLIGHT POINTS
- WALL MOUNTED LIGHT POINT
- EX. FLOOD LIGHT POINT
- DOUBLE FLUROSCENT LIGHT POINT
- TASTIC COMBINATION
- SINGLE POWER POINT
- DOUBLE POWER POINT
- EX. WEATHERPROOF DOUBLE POWER POINT
- EX. WEATHERPROOF SINGLE POWER POINT
- EXHAUST FAN
- SMOKE ALARMS (AS3786-2014)
- DUCTED HEATING OUTLET (GUIDE ONLY)
- MANHOLE (CEILING ACCESS POINT)
- TELEVISION POINT
- TELECOMMUNICATIONS POINT





**GARDEN TAP** 

**SENSOR** 

NATURAL GAS POINT

MAIN SWITCH BOARD

**ELECTRICAL CIRCUIT** 



JOB ADDRESS:		CLIENT:	NO	DESCRIPTION	DATE		SHEET NAME:	
LOT 1 (NO.60) ALFRED STF	EET, MAFFRA VIC 3860		D-00	FP, SITE PLAN	04.04.2025		UNIT 1 - EL	LECTRICAL PLAN
~~~	BUILDER:	JOB NO:	D-01 D-02	MARKUPS MARKUPS + ELEVATIONS	07.05.2025 28.05.2025			
Garron	GARRON HOMES	2579	D-03	MARKUPS	24.06.2025	REVISION:	DRAWN: SLS	SLS PROJECT TYPE:
Homes	2 FAIRWEATHER BOULEVARD HIGHFIELDS, QLD 4352 (07) 4639 3378	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.		D-U	D-03 24.06.2025	CHECKED: D.A  ISSUED DATE: 24.06.2025		

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# **UNIT 2 AREA SCHEDULE**

RESIDENCE	129.06 m²
GARAGE/LAUNDRY	46.99 m²
STORAGE	14.61 m²
ALFRESCO	12.43 m²
PORCH 1	4.53 m²

RESIDENCE	129.06 m <sup>2</sup>
GARAGE/LAUNDRY	46.99 m²
STORAGE	14.61 m²
ALFRESCO	12.43 m²
PORCH 1	4.53 m²
PORCH 2	3.18 m²
	210.80 m²

# TIMBER FRAMING NOTE:

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH THE CURRENT NCC & COMPLY WITH AS1684 - 2021.

## **CONSTRUCTION JOINTS NOTE:**

VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4773.

REFER TO ENGINEER'S PLANS FOR PLACEMENT.

## WINDOW SIZE NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURER'S NEAREST STOCK SIZES.

## **DWELLING ACCESS NOTE:**

THE DWELLING SHOULD PROVIDE SAFE AND EASY ACCESS (ALSO REFERRED TO AS 'STEP-FREE ACCESS PATH) FROM THE PEDESTRIAN ENTRY AT ALLOTMENT BOUNDARY, APPURTENANT CLASS 10A GARAGE/ CARPORT OF A DESIGNATED CAR PARKING SPACE FOR THE EXCLUSIVE USE BY DWELLING OCCUPANTS.

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- OPENING IF PROVIDED 5) RAMP: 1000 MIN. WIDE; 1:14 TO 1:20 GRADIENT; 1200 MIN. LONG LANDING WITH CROSSFALL SHALLOWER
- 6) SINGLE STEP RAMP: 1000 MIN. WIDE: 1:10 MAX GRADIENT; 190 MAX HEIGHT; 1900 MAX LENGTH

REFER TO NCC VOLUME 2. H8PA(A). H8D2(1), H8D(2) & PART OF THE STANDARD.

## **REINFORCEMENT NOTE:**

BATHROOM/POWDER ROOM TO HAVE PLY AND OR NOGGING REINFORCEMENT TO COMPLY WITH PART 6 OF THE LIVABLE HOUSING DESIGN REGULATIONS.



EXHAUST FAN (DISCHARGE TO OUTSIDE AIR)

 $\odot$ SMOKE ALARM (INTERCONNECTED) DP DOWNPIPE LOCATION

RH RAINWATER HEAD LOCATION

MANHOLE (CEILING ACCESS)

ELECTRICAL METERBOARD (TBD ON SITE)

☐ HOT WATER SERVICE

─W WATER POINT

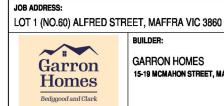
── EXTERNAL TAP

**UBO** UNDER BENCH OVEN

BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY, ENGINEER'S STRUCTURAL ASSESSMENT. 900x1200 MINIMUM CIRCULATION SPACE IN FRONT OF TOILET, AS PER PART 6.4 OF THE NCC LIVABLE HOUSING DESIGN



BULKHEAD OVER



GARRON HOMES 15-19 MCMAHON STREET, MAFFRA 3860 CLIENT: NO DESCRIPTION FP, SITE PLAN D-01 MARKUPS D-02 MARKUPS + FLEVATIONS D-03 MARKUPS CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.

DATE 04.04.2025 07 05 2025 28.05.2025 24.06.2025

\$50 965 **240** 1270

1315

2135

2485

2485

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器

8

8860

2135

**ALFRESCO** 

PLAIN CONCRETE

3500

350 665 240

**D** 

5400

FAMILY VINYL PLANKS

DINING

STUDY NOOK

PDR TILES

STEP FREE ACCESS PATH

TO COMPLY WITH PART 1.1. OF THE LIVABLE HOUSING

GARAGE PLAIN CONCRETE

1800

6005

90 1050

2020

DESIGN REGULATIONS

2x520 SLD

HALL

.PLANKS

900

1.8Hx0.9W

1300

KITCHEN

1050 90

1250

BED 2

870 CSD

ENS 2

SHELVES

WIP V.P

BED 1

STORAGE

3910

3910

1300

ENS 1

TILES

WC 1

1430

3740

1.8Hx0.9W

**UNIT 2 - FLOOR PLAN** 

1250 9051090

10425

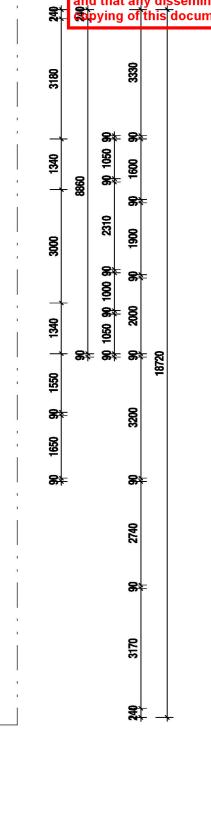
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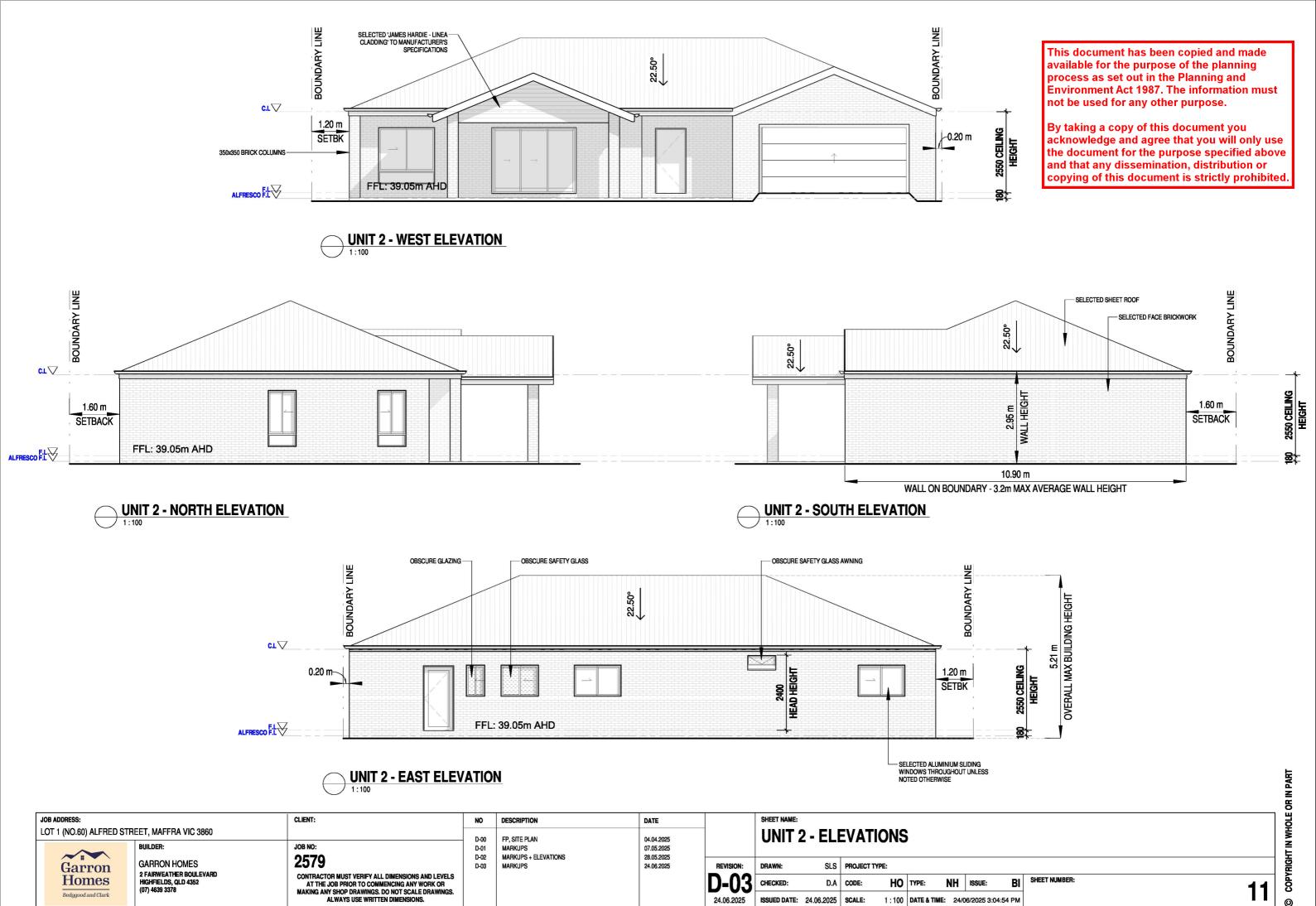
90 750 90

REVISION: DRAWN: CHECKED: D.A CODE: HO TYPE: NH ISSUE: 24.06.2025 ISSUED DATE: 24.06.2025 SCALE: 1:100 DATE & TIME: 24/06/2025 3:04:53 PM This document has been copied and made available for the purpose of the planning process as set out in the Planning and **Environment Act 1987. The information must** not be used for any other purpose.

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SLS PROJECT TYPE: BI SHEET NUMBER:



# **ELECTRICAL LEGEND**

- O BATTEN LIGHT POINTS
- ⊗ LED DOWNLIGHT POINTS
- ₩ WALL MOUNTED LIGHT POINT
- EX. FLOOD LIGHT POINT
- DOUBLE FLUROSCENT LIGHT POINT
- TASTIC COMBINATION
- ◆ SINGLE POWER POINT
- ◆ DOUBLE POWER POINT
- **EX. WEATHERPROOF DOUBLE POWER POINT**
- **■** EX. WEATHERPROOF SINGLE POWER POINT
- EXHAUST FAN
- S SMOKE ALARMS (AS3786-2014)
- H DUCTED HEATING OUTLET (GUIDE ONLY)
- MH MANHOLE (CEILING ACCESS POINT)
- ▼ TELEVISION POINT
- → TELECOMMUNICATIONS POINT



CEILING FAN & LIGHT COMBINATION

- Ŀ
- **GARDEN TAP**
- S SENSOR
- NATURAL GAS POINT



MAIN SWITCH BOARD

---- ELECTRICAL CIRCUIT



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JOB ADDRESS:		CLIENT:	NO	DESCRIPTION	DATE		SHEET NAME:	
LOT 1 (NO.60) ALFRED STF	EET, MAFFRA VIC 3860		D-00	FP, SITE PLAN	04.04.2025		UNIT 2 - FI	ECTRICAL PLAN
~~~	BUILDER:	JOB NO:	D-01 D-02	MARKUPS + ELEVATIONS	07.05.2025 28.05.2025		01111 2 22	
Garron	GARRON HOMES 2 FAIRWEATHER BOULEVARD	2579	D-03	MARKUPS	24.06.2025	REVISION:	DRAWN: SLS	S PROJECT TYPE:
Homes  Bedggood and Clark	HIGHFIELDS, QLD 4352 (07) 4639 3378	CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS.				D-03	CHECKED: D.A	A CODE: HO TYPE: NH ISSUE: BI SHEET NUMBER:
Bedggood and Clark		ALWAYS USE WRITTEN DIMENSIONS.				24.06.2025	ISSUED DATE: 24.06.2025	5 SCALE: 1:100 DATE & TIME: 24/06/2025 3:04:54 PM

**PARISH & TOWNSHIP OF MAFFRA** 

**SECTION 50** 

**CROWN ALLOTMENT 3 (PART)** 

LAST PLAN REF: TP 248145B TITLE REF: VOL. 5078 FOL. 576

ADDRESS: 60 ALFRED STREET, MAFFRA, VIC. 3860

# PLAN OF PROPOSED SUBDIVISION

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2501592	

SCALE 1 : 250	2.5 0 2.5 5 7.5 10  LENGTHS ARE IN METRES	ORIGINAL SHEET SIZE: A3	SHEET 1 OF 1