





UNIT 1 AREA SCHEDULE	
NAME	AREA
RESIDENCE	149.75 m²
GARAGE	39.76 m²
ALFRESCO	12.85 m²
Porch	9.67 m²
	212.03 m²
TIMBER FRAMING NOTE:	
ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH THE CURRENT NCC & COMPLY WITH AS1684 - 2021.	

CONSTRUCTION JOINTS NOTE:	
VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4773. REFER TO ENGINEER'S PLANS FOR PLACEMENT.	

WINDOW SIZE NOTE:	
WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURER'S NEAREST STOCK SIZES.	

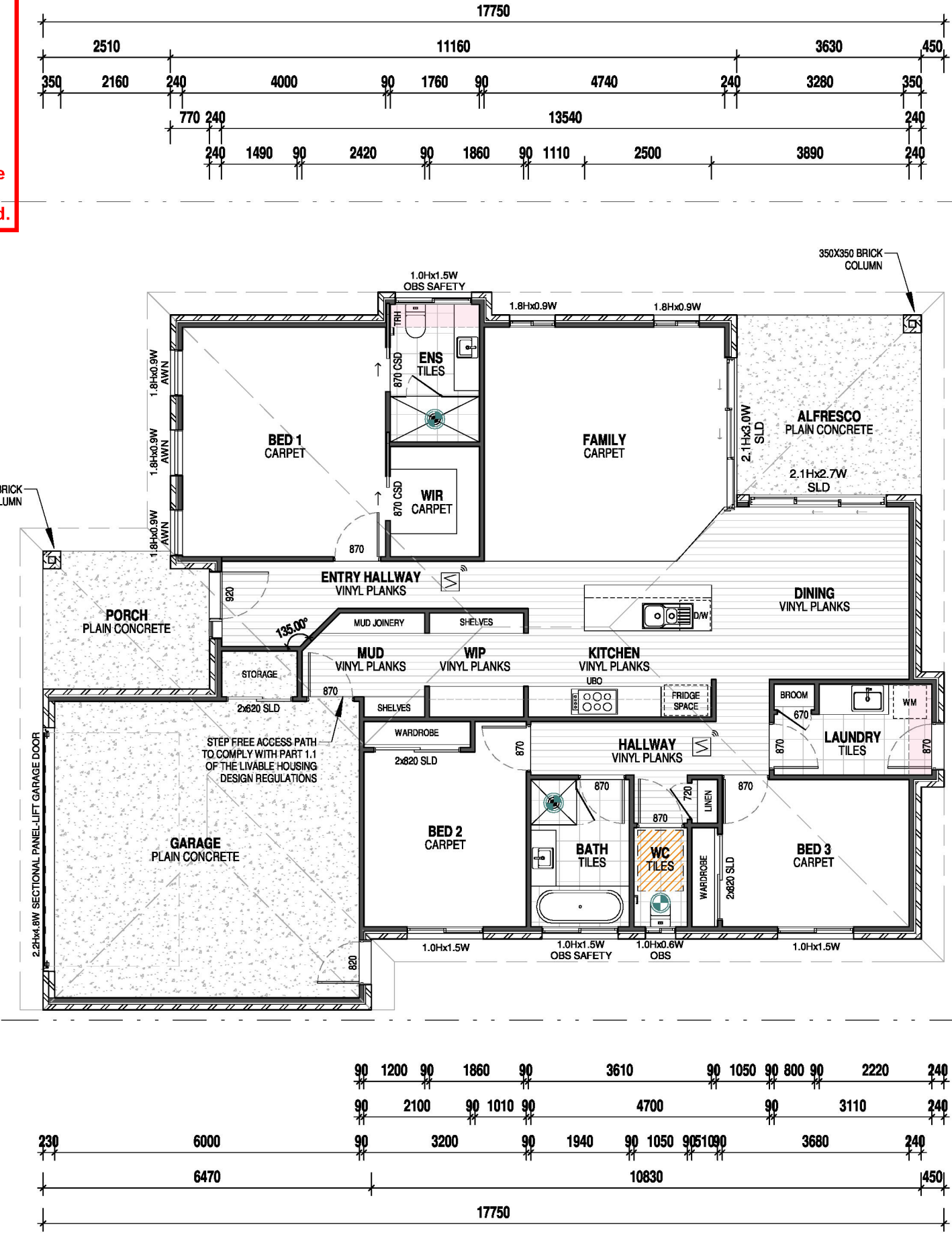
DWELLING ACCESS NOTE:	
THE DWELLING SHOULD PROVIDE SAFE AND EASY ACCESS (ALSO REFERRED TO AS 'STEP-FREE ACCESS PATH') FROM THE PEDESTRIAN ENTRY AT ALLOTMENT BOUNDARY, APPURTENANT CLASS 10A GARAGE/ CARPORT OF A DESIGNATED CAR PARKING SPACE FOR THE EXCLUSIVE USE BY DWELLING OCCUPANTS.	
ACCESS PATH TO BE:	
1) CONNECT TO THE DEFINED ENTRANCE DOOR (820 MIN. CLEAR OPENING)	
2) STEP-FREE	
3) 1000 MIN WIDE	
4) GATE WITHIN THE PATH TO BE 820 MIN. CLEAR OPENING IF PROVIDED	
5) RAMP: 1000 MIN. WIDE; 1:14 TO 1:20 GRADIENT; 1200 MIN. LONG LANDING WITH CROSSFALL SHALLOWER THAN 1:40	
6) SINGLE STEP RAMP; 1000 MIN. WIDE; 1:10 MAX GRADIENT; 190 MAX HEIGHT; 1900 MAX LENGTH	
REFER TO NCC VOLUME 2. H8PA(A), H8D2(1), H8D(2) & PART OF THE STANDARD.	

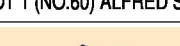
REINFORCEMENT NOTE:	
BATHROOM/POWDER ROOM TO HAVE PLY AND OR NOGGING REINFORCEMENT TO COMPLY WITH PART 6 OF THE LIVABLE HOUSING DESIGN REGULATIONS.	

FLOOR PLAN LEGEND:	
	EXHAUST FAN (DISCHARGE TO OUTSIDE AIR)
	SMOKE ALARM (INTERCONNECTED)
	DOWNPIPE LOCATION
	RAINWATER HEAD LOCATION
	MANHOLE (CEILING ACCESS)
	ELECTRICAL METERBOARD (TBD ON SITE)
	HOT WATER SERVICE
	WATER POINT
	EXTERNAL TAP
	UNDER BENCH OVEN
	BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY, ENGINEER'S STRUCTURAL ASSESSMENT.
	900x1200 MINIMUM CIRCULATION SPACE IN FRONT OF TOILET, AS PER PART 6.4 OF THE NCC LIVABLE HOUSING DESIGN REGULATIONS.
	BULKHEAD OVER

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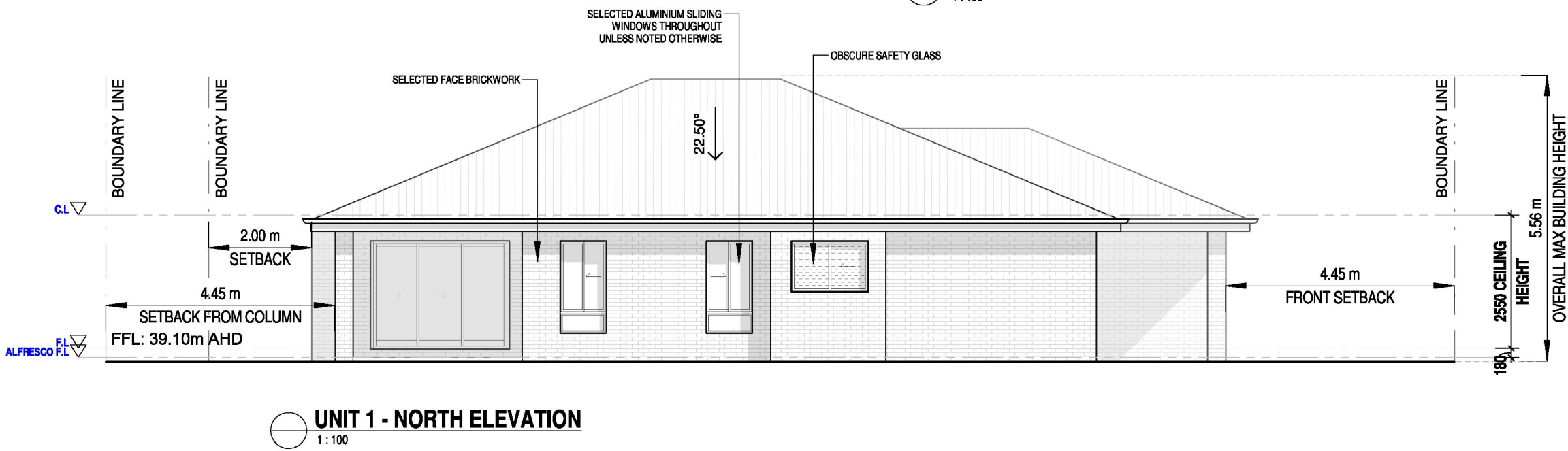
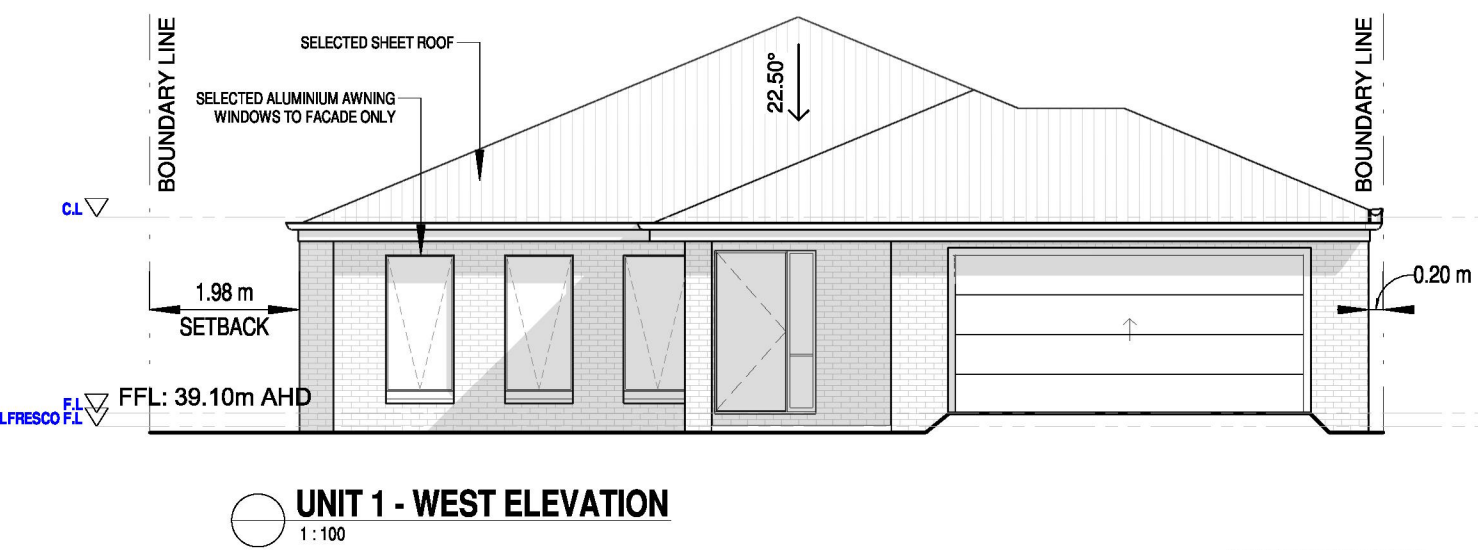
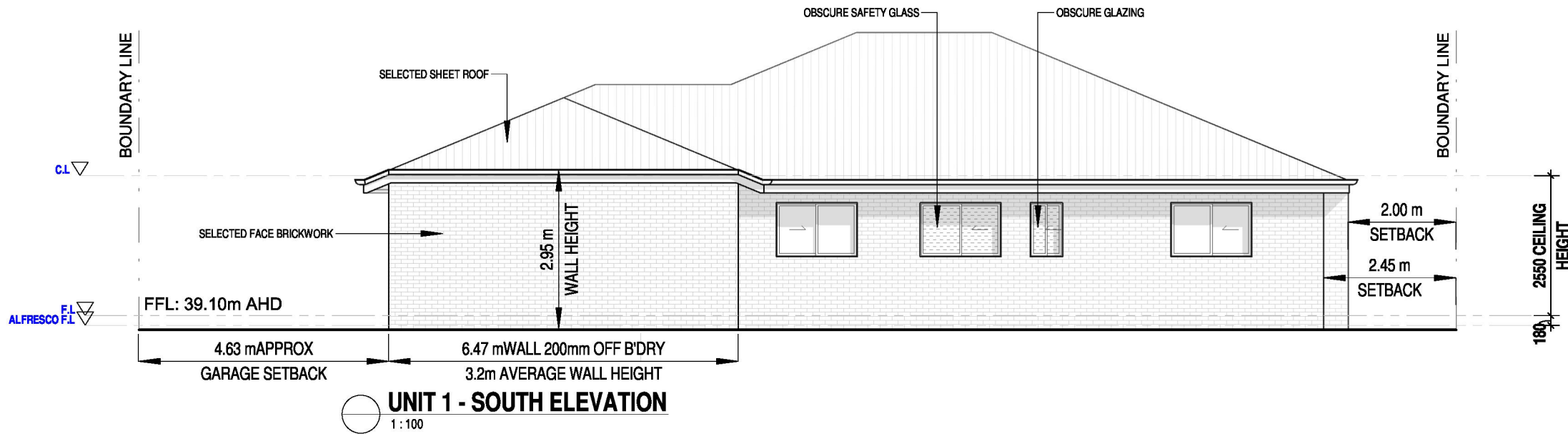
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JOB ADDRESS: LOT 1 (NO.60) ALFRED STREET, MAFFRA VIC 3860		CLIENT:	NO D-00 D-01 D-02 D-03	DESCRIPTION FP, SITE PLAN MARKUPS MARKUPS + ELEVATIONS MARKUPS	DATE 04.04.2025 07.05.2025 28.05.2025 24.06.2025	SHEET NAME: <b>UNIT 1 - FLOOR PLAN</b>					
	BUILDER:  GARRON HOMES 15-19 MCMAHON STREET, MAFFRA 3860	JOB NO: <b>2579</b>  CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.				REVISION: <b>D-03</b> 24.06.2025	DRAWN:	SLS	PROJECT TYPE:		
			CHECKED:	D.A	CODE:		HO	TYPE:	NH	ISSUE:	BI
				ISSUED DATE:	24.06.2025	SCALE:	1 : 100	DATE & TIME: 24/06/2025 3:04:50 PM			

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







JOB ADDRESS: LOT 1 (NO.60) ALFRED STREET, MAFFRA VIC 3860		CLIENT:	NO	DESCRIPTION	DATE	SHEET NAME: UNIT 1 - ELEVATIONS									
	BUILDER:  GARRON HOMES 2 FAIRWEATHER BOULEVARD HIGHFIELDS, QLD 4352 (07) 4639 3378	JOB NO: <b>2579</b>  CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.				D-00	FP, SITE PLAN	04.04.2025	REVISION: <b>D-03</b>  24.06.2025	DRAWN:	SLS	PROJECT TYPE:			
			D-01	MARKUPS	07.05.2025	CHECKED:	D.A	CODE:		HO	TYPE:	NH	ISSUE:	BI	SHEET NUMBER:  <b>03</b>
			D-02	MARKUPS + ELEVATIONS	28.05.2025	ISSUED DATE:		24.06.2025		SCALE:		1 : 100	DATE & TIME:		
D-03	MARKUPS	24.06.2025													





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ELECTRICAL LEGEND

-  BATTEN LIGHT POINTS
-  LED DOWNLIGHT POINTS
-  WALL MOUNTED LIGHT POINT
-  EX. FLOOD LIGHT POINT
-  DOUBLE FLUROSCNET LIGHT POINT
-  TASTIC COMBINATION
-  SINGLE POWER POINT
-  DOUBLE POWER POINT
-  EX. WEATHERPROOF DOUBLE POWER POINT
-  EX. WEATHERPROOF SINGLE POWER POINT
-  EXHAUST FAN
-  SMOKE ALARMS (AS3786-2014)
-  DUCTED HEATING OUTLET (GUIDE ONLY)
-  MANHOLE (CEILING ACCESS POINT)
-  TELEVISION POINT
-  TELECOMMUNICATIONS POINT
-  CEILING FANS
-  CEILING FAN & LIGHT COMBINATION
-  GARDEN TAP
-  SENSOR
-  NATURAL GAS POINT
-  MAIN SWITCH BOARD
-  ELECTRICAL CIRCUIT



JOB ADDRESS: LOT 1 (NO.60) ALFRED STREET, MAFFRA VIC 3860		CLIENT:	NO D-00 D-01 D-02 D-03	DESCRIPTION FP, SITE PLAN MARKUPS MARKUPS + ELEVATIONS MARKUPS	DATE 04.04.2025 07.05.2025 28.05.2025 24.06.2025		SHEET NAME: UNIT 1 - ELECTRICAL PLAN					
	BUILDER: GARRON HOMES 2 FAIRWEATHER BOULEVARD HIGHFIELDS, QLD 4352 (07) 4639 3378	JOB NO: 2579 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.					REVISION: D-03 24.06.2025			DRAWN: SLS PROJECT TYPE:		
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UNIT 2 AREA SCHEDULE	
NAME	AREA

RESIDENCE	129.06 m²
GARAGE/LAUNDRY	46.99 m²
STORAGE	14.61 m²
ALFRESCO	12.43 m²
PORCH 1	4.53 m²
PORCH 2	3.18 m²
	210.80 m²

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**CONSTRUCTION JOINTS NOTE:**

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REFER TO ENGINEER'S PLANS FOR PLACEMENT.

**WINDOW SIZE NOTE:**

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL.  
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REFER TO NCC VOLUME 2. H8PA(A). H8D2(1), H8D(2) & PART OF THE STANDARD.

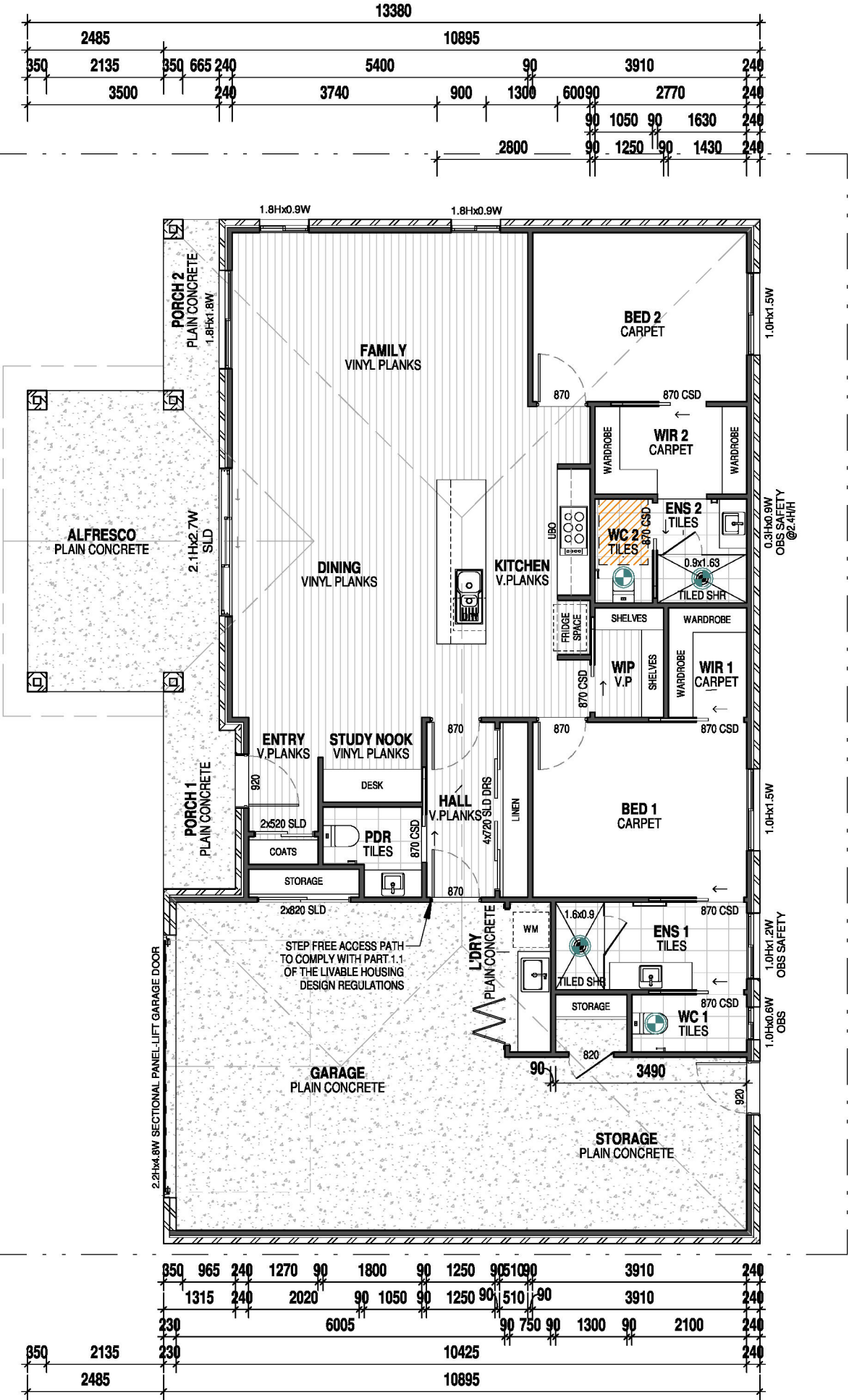
**REINFORCEMENT NOTE:**

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**FLOOR PLAN LEGEND:**

- EXHAUST FAN (DISCHARGE TO OUTSIDE AIR)
- SMOKE ALARM (INTERCONNECTED)
- DOWNPIPE LOCATION
- RAINWATER HEAD LOCATION
- MANHOLE (CEILING ACCESS)
- ELECTRICAL METERBOARD (TBD ON SITE)
- HOT WATER SERVICE
- WATER POINT
- EXTERNAL TAP
- UNDER BENCH OVEN
- BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY, ENGINEER'S STRUCTURAL ASSESSMENT.
- 900x1200 MINIMUM CIRCULATION SPACE IN FRONT OF TOILET, AS PER PART 6.4 OF THE NCC LIVABLE HOUSING DESIGN REGULATIONS.
- BULKHEAD OVER

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	BUILDER:  GARRON HOMES 15-19 MCMAHON STREET, MAFFRA 3860	JOB NO: <b>2579</b>  CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.											
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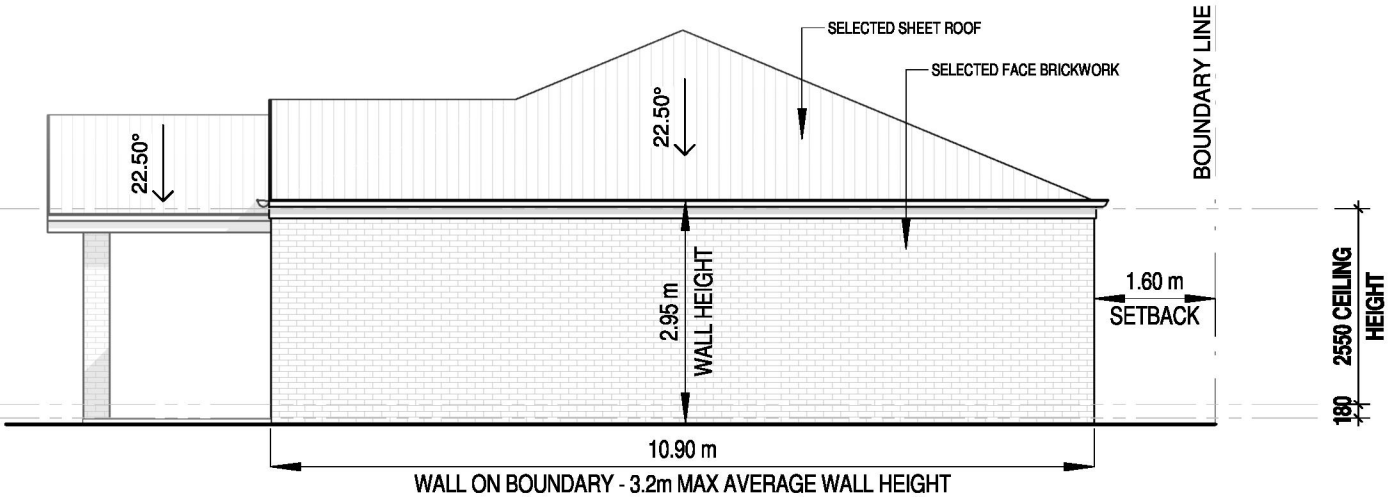
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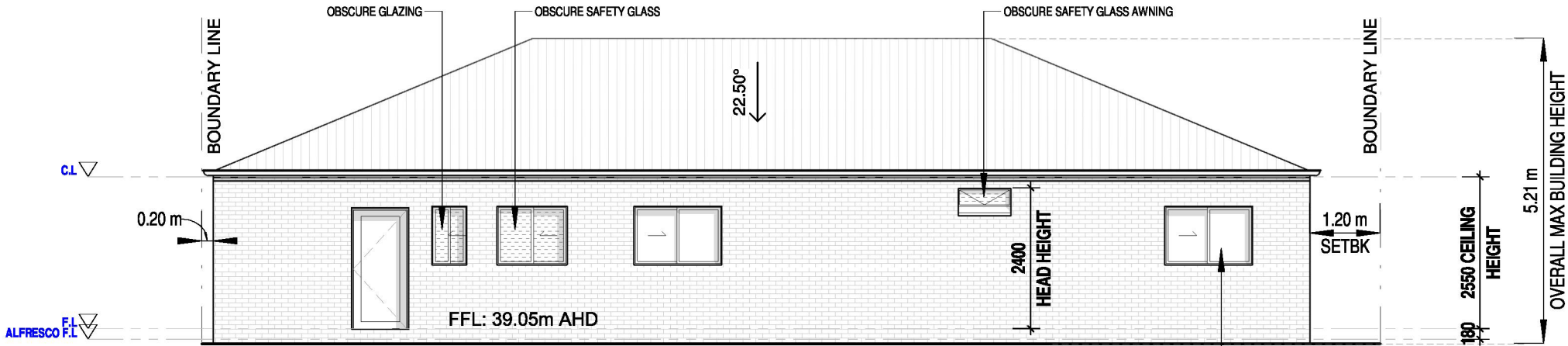
UNIT 2 - WEST ELEVATION  
1 : 100




UNIT 2 - NORTH ELEVATION  
1 : 100



UNIT 2 - SOUTH ELEVATION  
1 : 100



UNIT 2 - EAST ELEVATION  
1 : 100

JOB ADDRESS: LOT 1 (NO.60) ALFRED STREET, MAFFRA VIC 3860		CLIENT:	NO	DESCRIPTION	DATE	SHEET NAME: UNIT 2 - ELEVATIONS								
	BUILDER: GARRON HOMES 2 FAIRWEATHER BOULEVARD HIGHFIELDS, QLD 4352 (07) 4639 3378	JOB NO: 2579 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.				D-00	FP, SITE PLAN MARKUPS MARKUPS + ELEVATIONS MARKUPS	04.04.2025 07.05.2025 28.05.2025 24.06.2025	REVISION: D-03 24.06.2025					
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D-03	ISSUED DATE: 24.06.2025	SCALE: 1 : 100	DATE & TIME: 24/06/2025 3:04:54 PM											



ELECTRICAL LEGEND

- BATTEN LIGHT POINTS
- ⊗

LED DOWNLIGHT POINTS
- ⊗

WALL MOUNTED LIGHT POINT
- ◇

EX. FLOOD LIGHT POINT
- |—

DOUBLE FLUROSCENT LIGHT POINT
- ⦿

TASTIC COMBINATION
- ◀

SINGLE POWER POINT
- ◀◀

DOUBLE POWER POINT
- ⦿

EX. WEATHERPROOF DOUBLE POWER POINT
- ⦿

EX. WEATHERPROOF SINGLE POWER POINT
- ⦿

EXHAUST FAN
- Ⓢ

SMOKE ALARMS (AS3786-2014)
- Ⓜ

DUCTED HEATING OUTLET (GUIDE ONLY)
- Ⓜ

MANHOLE (CEILING ACCESS POINT)
- TV

TELEVISION POINT
- C

TELECOMMUNICATIONS POINT
- ⊗

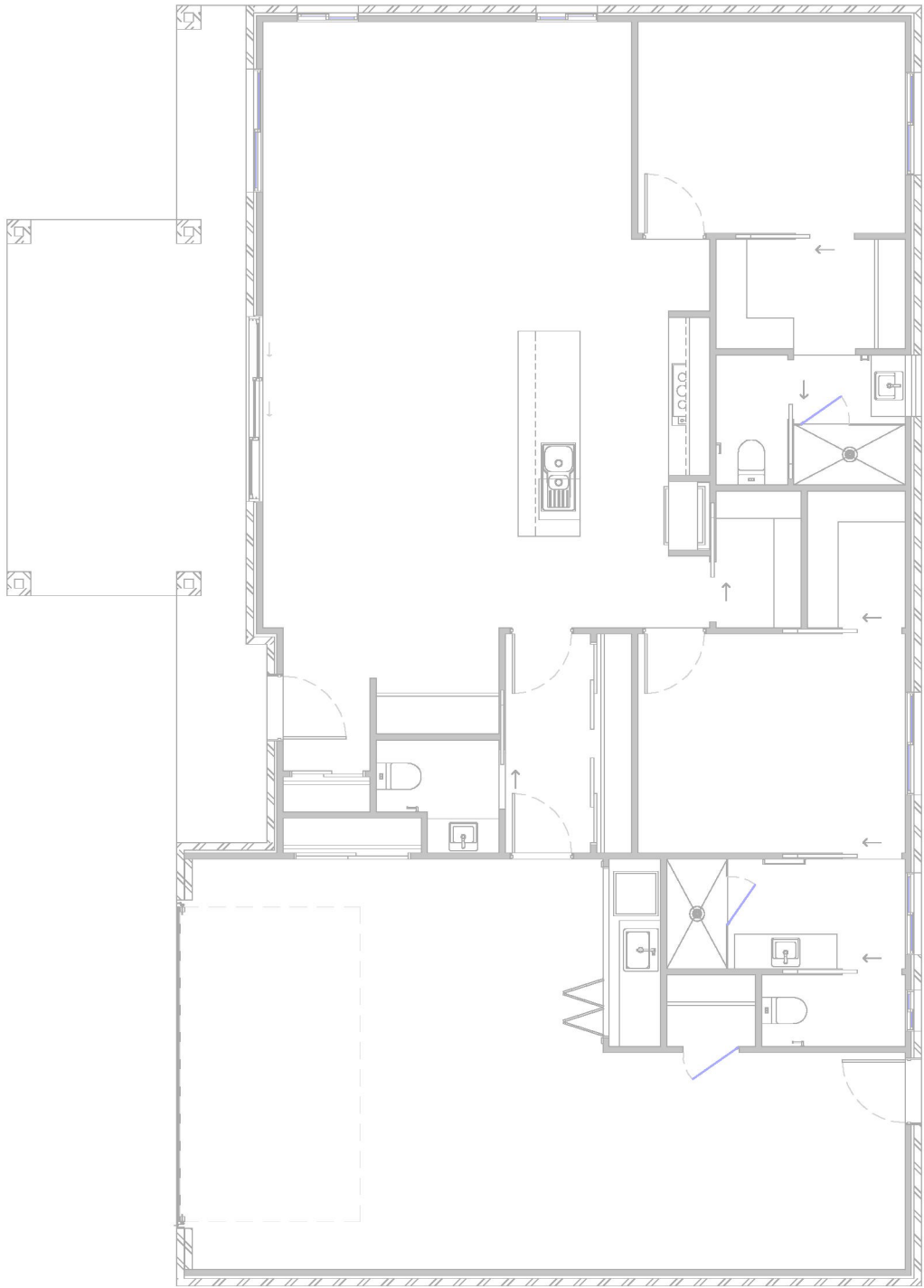
CEILING FANS
- ⊗

CEILING FAN & LIGHT COMBINATION
- 📍

GARDEN TAP
- ▽



SENSOR
- NATURAL GAS POINT
- 🔌

MAIN SWITCH BOARD
- ELECTRICAL CIRCUIT



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	BUILDER: GARRON HOMES 2 FAIRWEATHER BOULEVARD HIGHFIELDS, QLD 4352 (07) 4639 3378	JOB NO: 2579 CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS. DO NOT SCALE DRAWINGS. ALWAYS USE WRITTEN DIMENSIONS.					REVISION: D-03 24.06.2025	DRAWN: SLS	PROJECT TYPE:			
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			ISSUED DATE: 24.06.2025	SCALE: 1 : 100	DATE & TIME: 24/06/2025 3:04:54 PM							

**SECTION 50**  
**CROWN ALLOTMENT 3 (PART)**

TITLE REF: VOL. 5078 FOL. 576

# PLAN OF PROPOSED SUBDIVISION

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