

Office Use Only

VicSmart? YES NO

Specify class of VicSmart application:

Application No.: _____ Date Lodged: / /



Application for a **Planning Permit**

If you need help to complete this form, read MORE INFORMATION at the back of this form.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

Clear Form

Application Type

Is this a VicSmart application?*

No Yes

If yes, please specify which

VicSmart class or classes:.....

If the application falls into one of the classes listed under Clause 92 or the schedule to Clause 94, it is a VicSmart application.

Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'Yes', with whom?:

Date:

day / month / year

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.:	St. Name:
Suburb/Locality:		Postcode:

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.:	<input type="radio"/> Lodged Plan	<input type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.:
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					


The Proposal

 You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

 **For what use, development or other matter do you require a permit? ***

 Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

 **Estimated cost of any development for which the permit is required ***


Cost \$  You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

 Provide a plan of the existing conditions. Photos are also helpful.

Title Information


Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

No

Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:		
Title: Mr	First Name: James	Surname: [REDACTED]
Organisation (if applicable): [REDACTED]		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name: [REDACTED]
Suburb/Locality: [REDACTED]	State: VIC	Postcode: 3001

Please provide at least one contact phone number *

Contact information for applicant OR contact person below	
Business phone:	Email:
Mobile phone: [REDACTED]	Fax:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details*		Same as applicant <input checked="" type="checkbox"/>
Name:		
Title:	First Name:	Surname:
Organisation (if applicable):		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No.:	St. Name:
Suburb/Locality:	State:	Postcode:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:		Same as applicant <input type="checkbox"/>
Title:	First Name:	Surname:
Organisation (if applicable): [REDACTED]		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.:	St. No. [REDACTED]	St. Name: [REDACTED]
Suburb/Locality: [REDACTED]	State: VIC	Postcode: 3151
Owner's Signature (Optional):	Date:	day / month / year

Information requirements


Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

Is the required information provided?

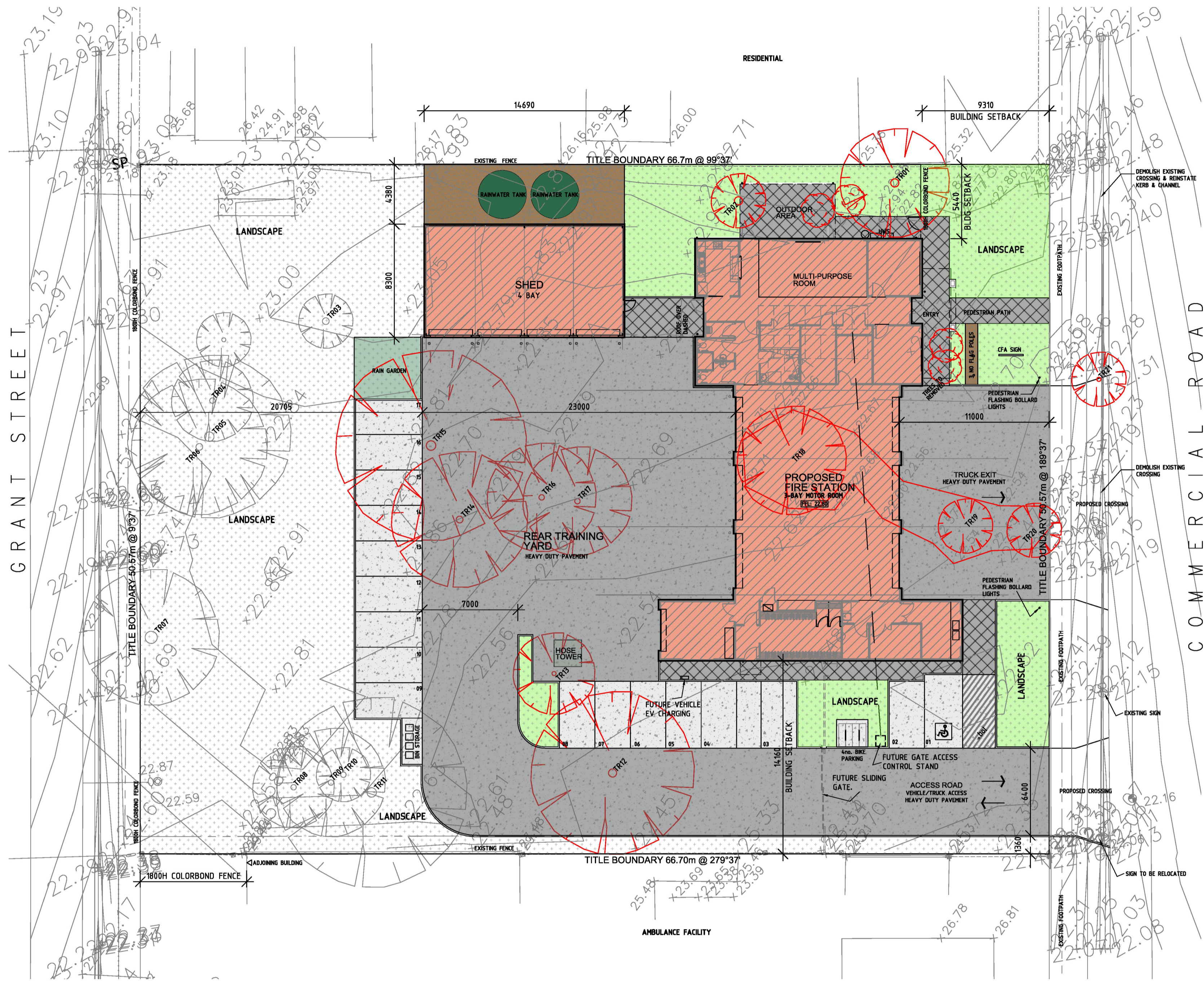
Yes No

Declaration i

This form must be signed by the applicant *

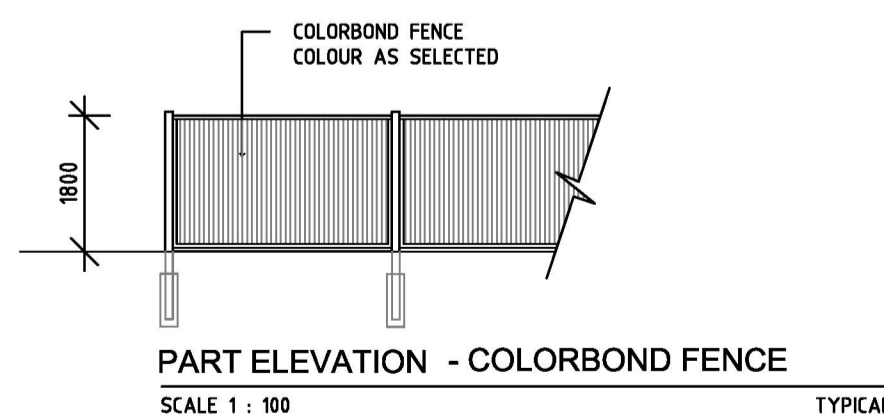
 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.	
Signature: [REDACTED]	Date: 16/12/2024
	day / month / year



SITE PLAN
SCALE 1:200

SUMMARY SCHEDULE	
AREA	PROPOSED
TOTAL SITE AREA	3373 m ²
Total Main Building Area	465 m ²
Staff parking	17
Total Conc. Hardstand	1,028m ²
Total Pedestrian Conc. Pavement	139m ²



••NOTE: TREES TO BE REMOVED SHOWN RED AND DASHED
••REFER LANDSCAPE ARCHITECTS DRAWING FOR FURTHER INFORMATION ON THE LANDSCAPE DESIGN



AERIAL IMAGE

TREE SCHEDULE			
TREE NO.	COMMON NAME	ORIGIN	RETAIN/REMOVE
1	BOX ELDER	EXOTIC DECIDUOUS	REMOVE
2	WILLOW MYRTLE	AUSTRALIAN NATIVE	REMOVE
3	COAST TEA-TREE	VIC NATIVE	RETAIN
4	SEA URCHIN HAKEA	AUSTRALIAN NATIVE	RETAIN
5	BLACK SHE-OAK	VIC NATIVE	RETAIN
6	BRACELET HONEY MYRTLE	VIC NATIVE	RETAIN
7	YELLOW GUM	VIC NATIVE	RETAIN
8	STICKY WATTLE	VIC NATIVE	RETAIN
9	STICKY WATTLE	VIC NATIVE	RETAIN
10	STICKY WATTLE	VIC NATIVE	RETAIN
11	GUM TREE	AUSTRALIAN NATIVE	RETAIN
12	PRICKLY LEAVED PAPERBARK	AUSTRALIAN NATIVE	REMOVE
13	MAPLE TREE	EXOTIC DECIDUOUS	REMOVE
14	GOLDEN WYCH ELM	EXOTIC DECIDUOUS	REMOVE
15	BOX ELDER	EXOTIC DECIDUOUS	REMOVE
16	PRICKLY LEAVED PAPERBARK	AUSTRALIAN NATIVE	REMOVE
17	PRICKLY LEAVED PAPERBARK	AUSTRALIAN NATIVE	REMOVE
18	VARIEGATED CUMQUAT	EXOTIC EVERGREEN	REMOVE
19	CANARY ISLAND DATE PALM	EXOTIC PALM	REMOVE
20	ENGLISH ELM	EXOTIC DECIDUOUS	REMOVE
21	WILLOW BOTTLEBRUSH	AUSTRALIAN NATIVE	REMOVE

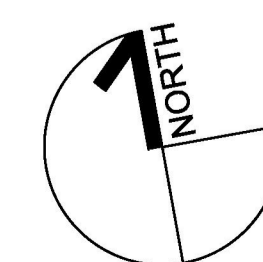
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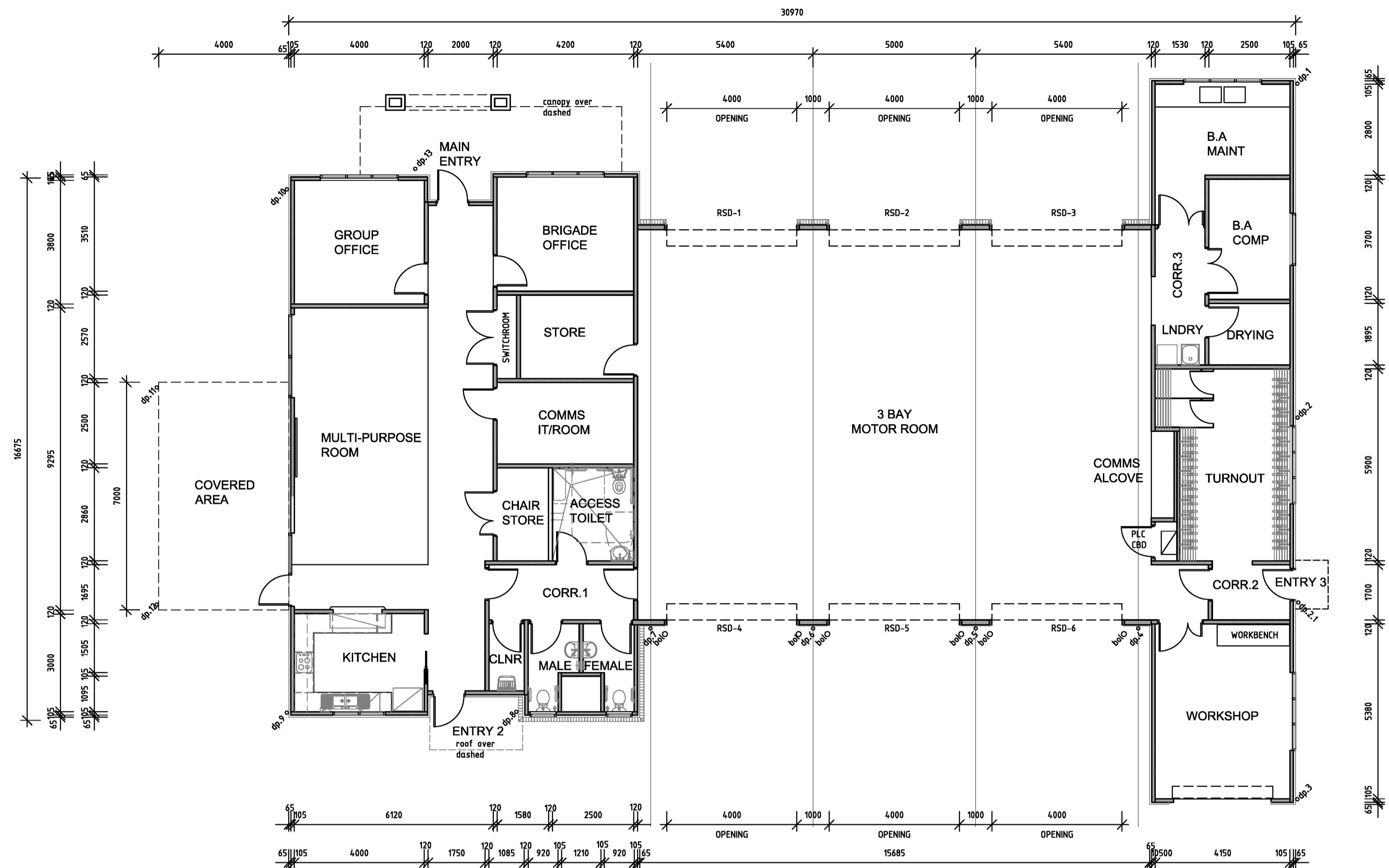


PROPOSED YARRAM - NEW FIRE STATION
120-130 COMMERCIAL ROAD, YARRAM

CLIENT: COMMUNITY SAFETY BUILDING AUTHORITY
JOB NO.: 24721
DRAWING NO.: TP010
REVISION: A
DATE: October 2024
SCALE (@A1): 1:200
DRAWING TITLE: Site Plan

PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES

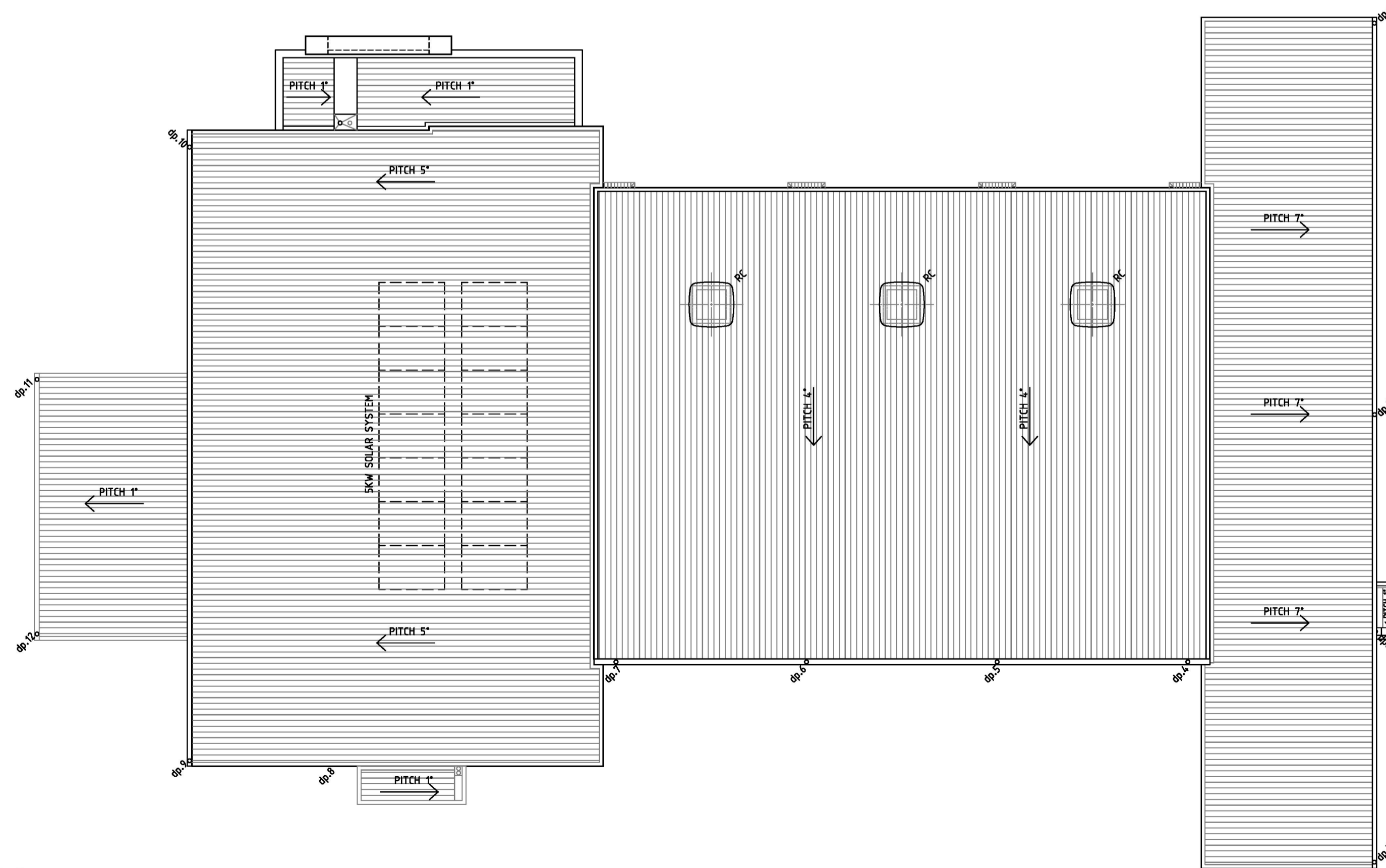




FLOOR PLAN
SCALE 1:100

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ROOF PLAN
SCALE 1:100

PROPOSED YARRAM - NEW FIRE STATION
120-130 COMMERCIAL ROAD, YARRAM

CLIENT
COMMUNITY SAFETY
BUILDING AUTHORITY

JOB NO.
24721

DRAWING NO.
TP100

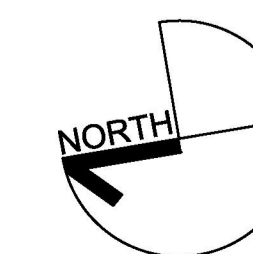
REVISION
A

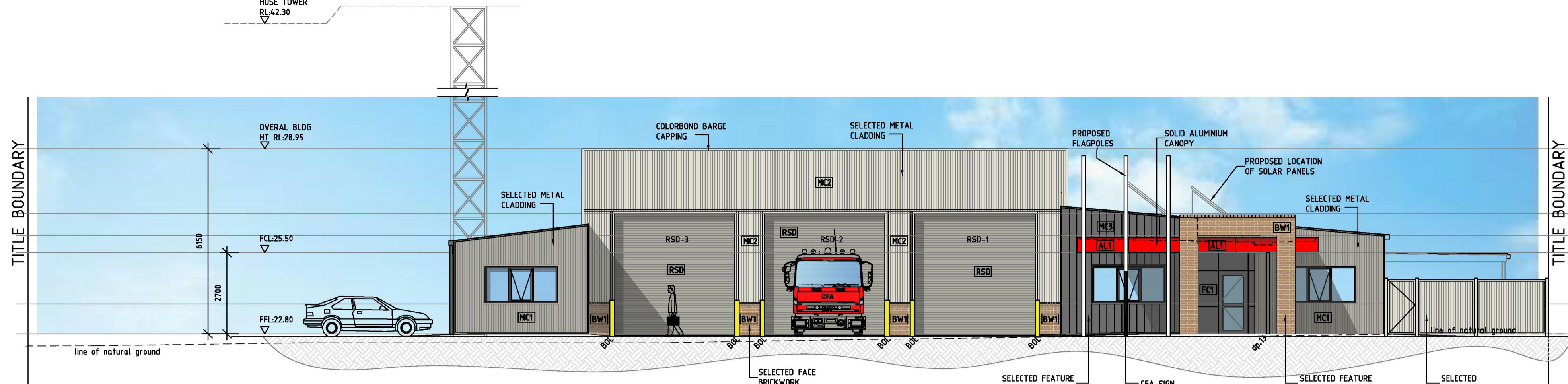
DATE
October 2024

SCALE (@A1)
1:100

DRAWING TITLE
Floorplan/Roof Plan

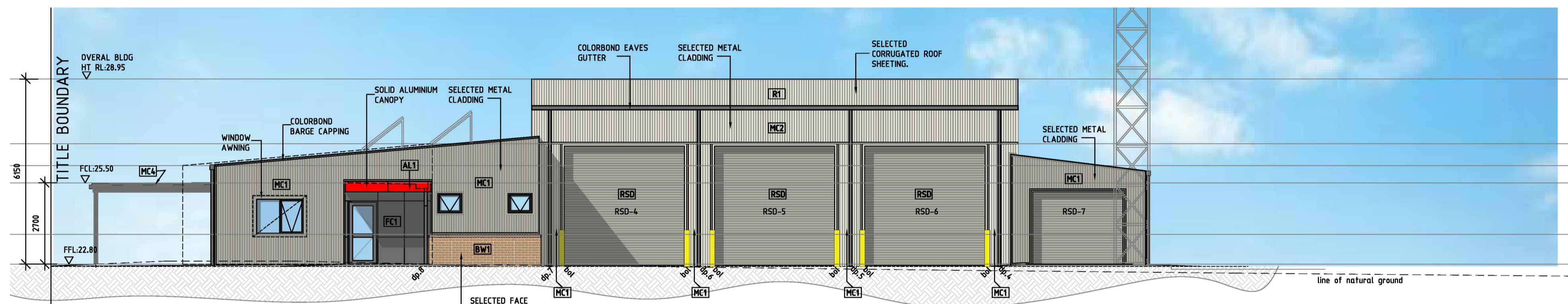
PRELIMINARY DRAWING
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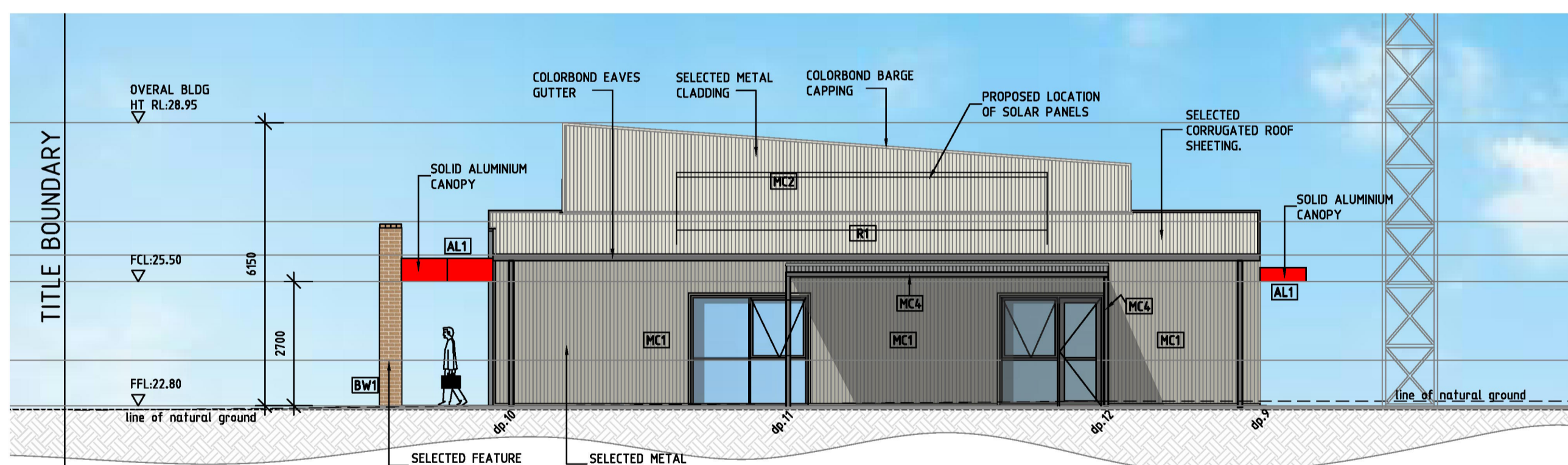
EAST ELEVATION

SCALE 1:100



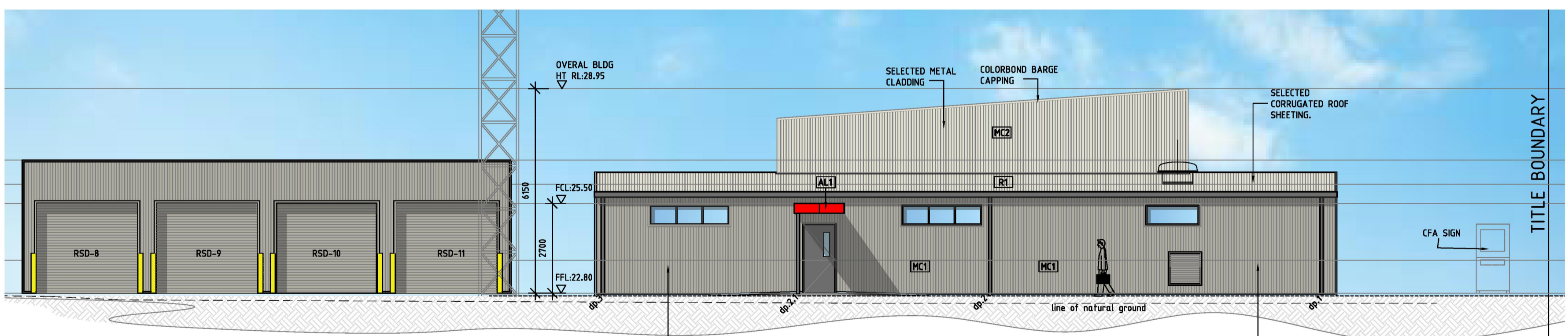
WEST ELEVATION

SCALE 1:100



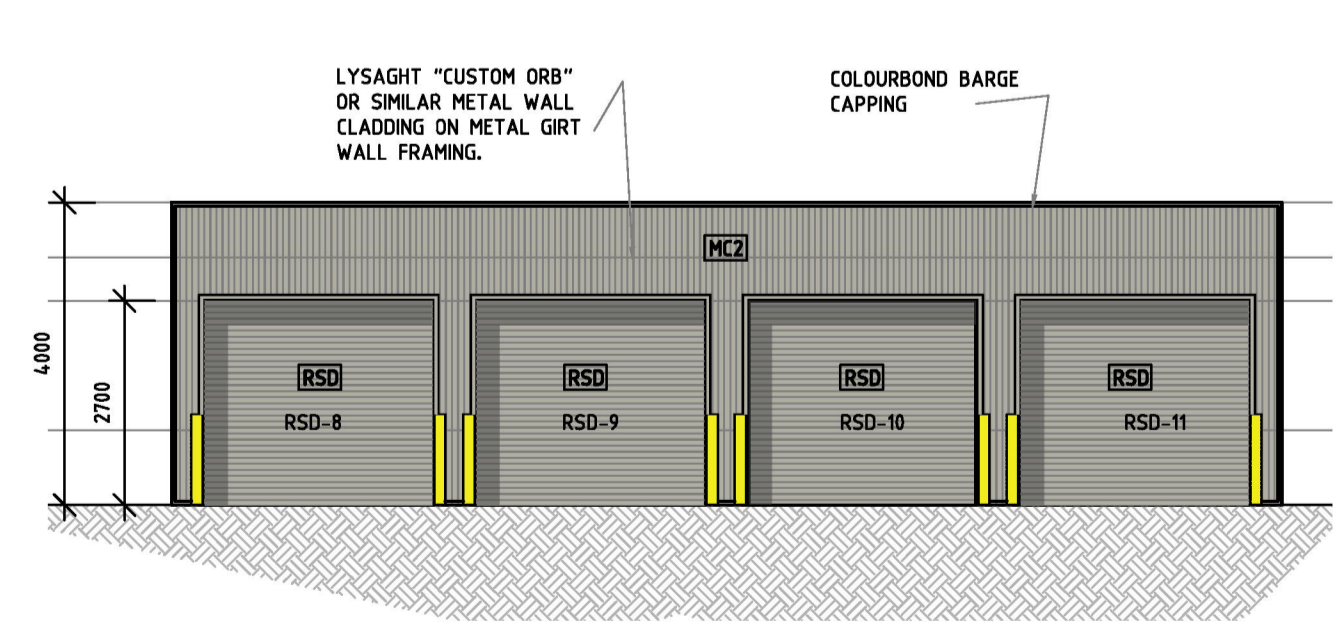
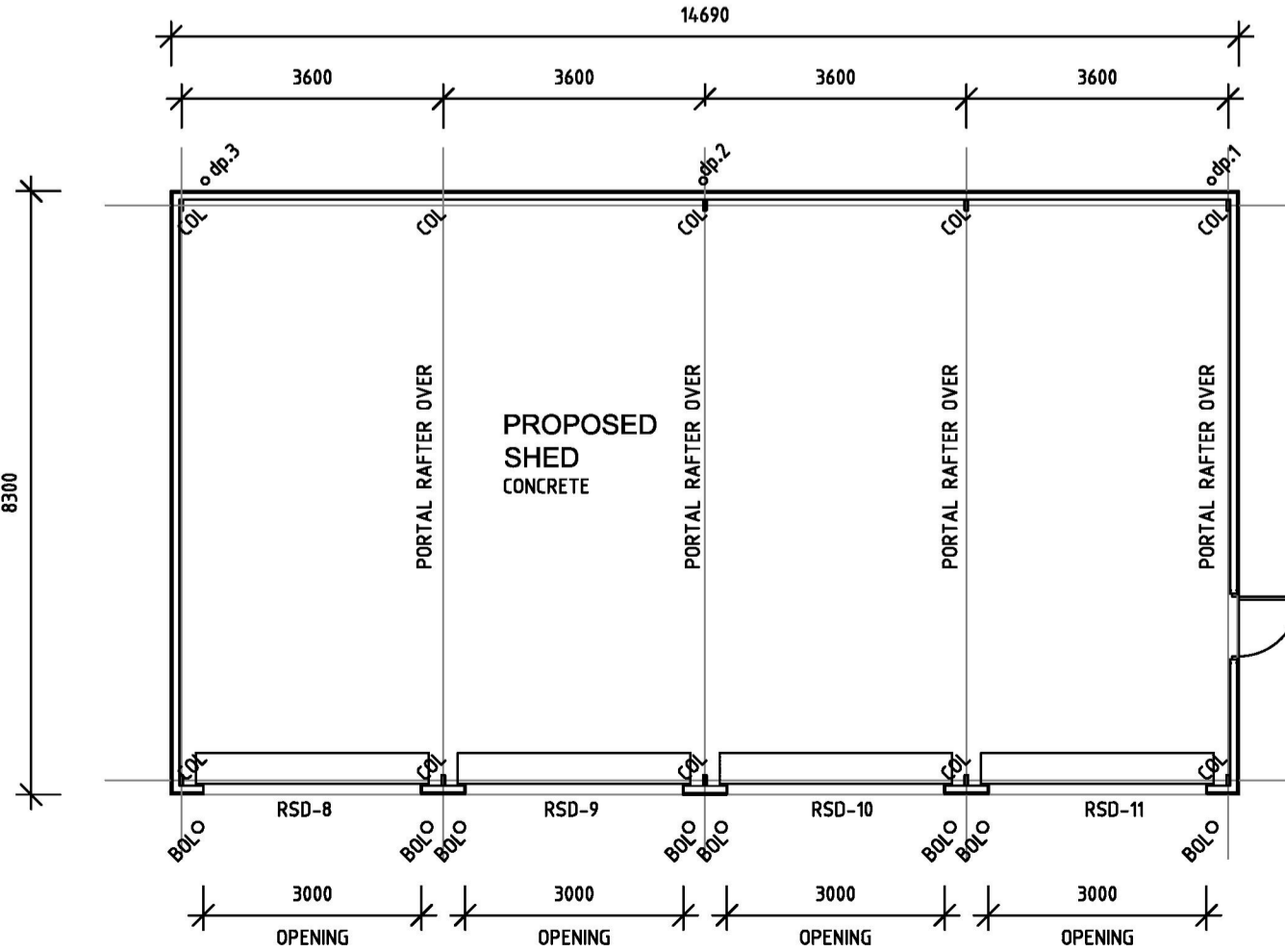
NORTH ELEVATION

SCALE 1:100



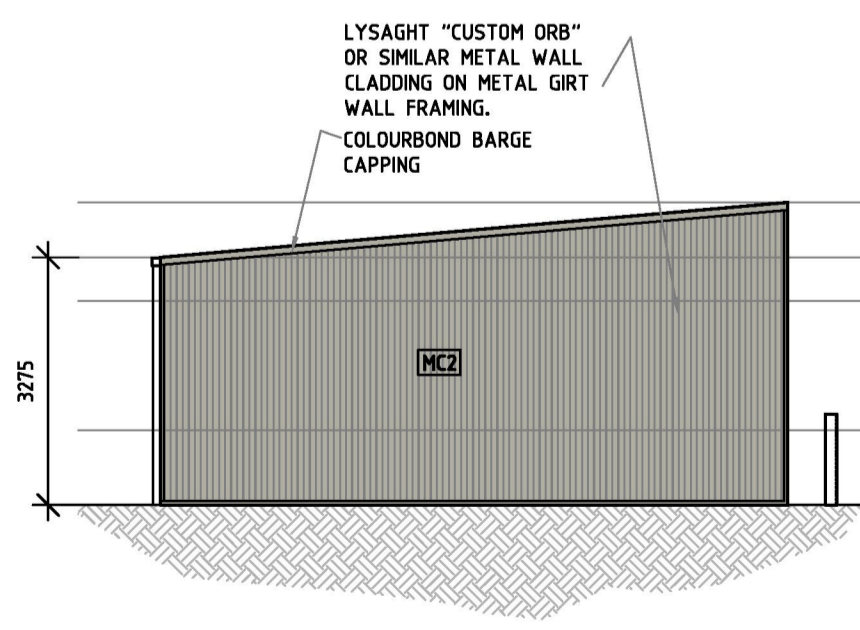
SOUTH ELEVATION

SCALE 1:100



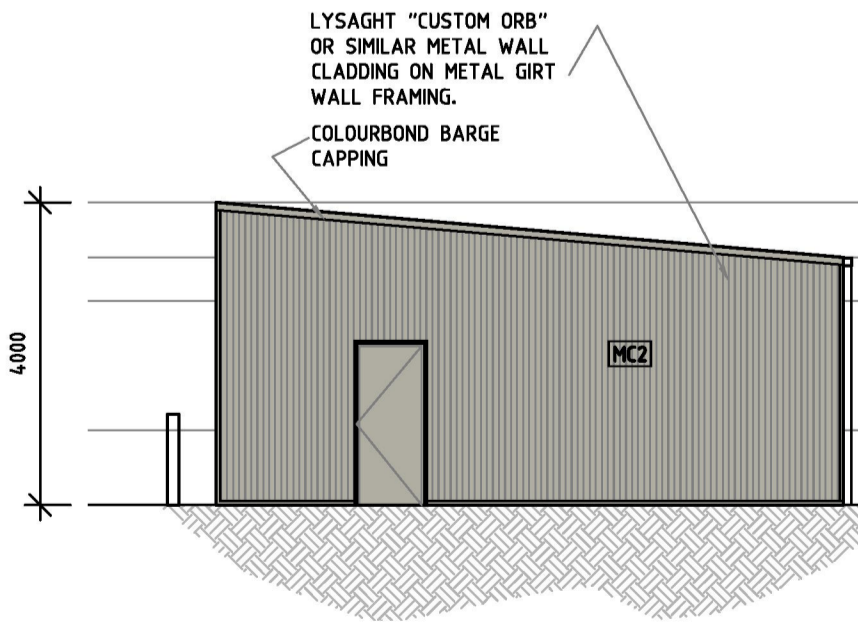
SOUTH ELEVATION

SCALE 1:100 PREFAB SHED



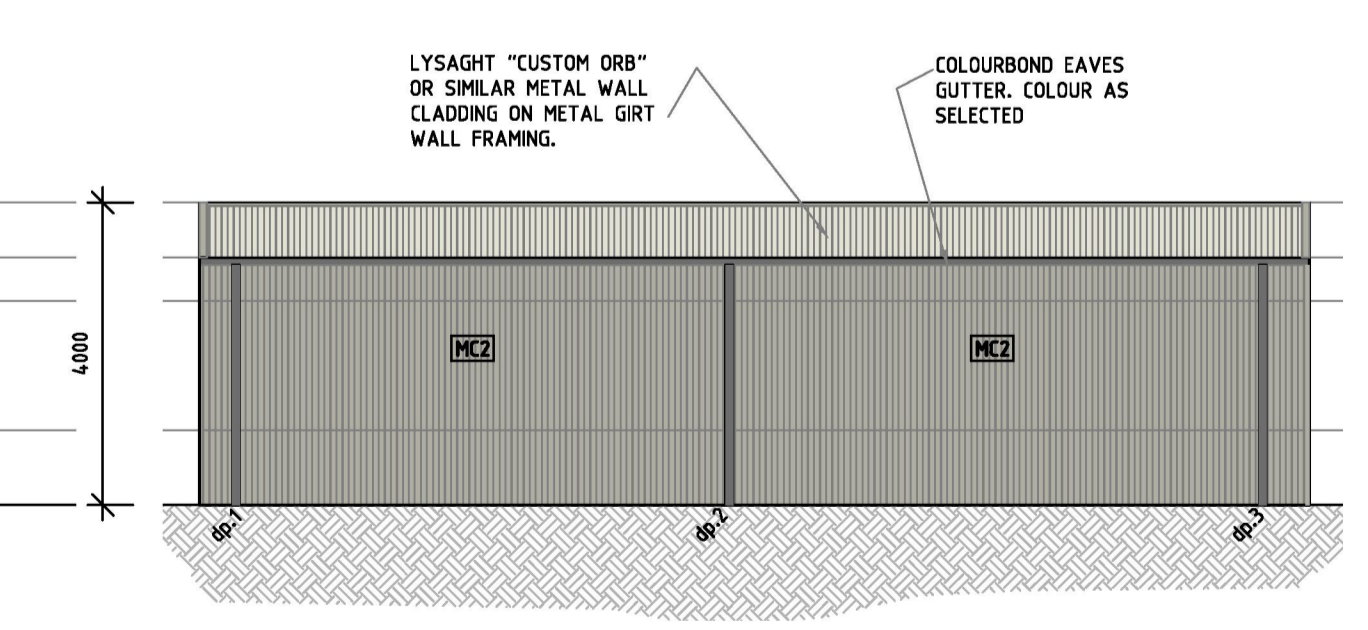
SOUTH ELEVATION

SCALE 1:100 PREFAB SHED



EAST ELEVATION

SCALE 1:100 PREFAB SHED

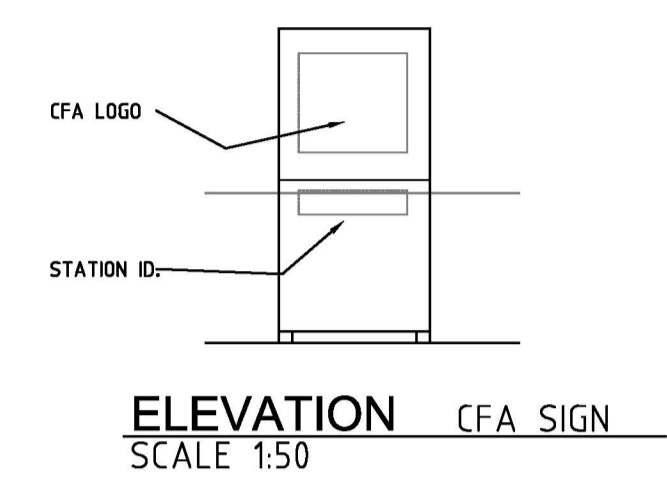


WEST ELEVATION

SCALE 1:100 PREFAB SHED

FINISHES SCHEDULE

	BW1 AUSTRAL BRICKS ACCESS - FAWN		AL1 SOLID ALUMINIUM CLADDING MONOCLAD, RED
	MC1 METAL WALL CLADDING LYSAGHT CUSTOM ORB COLORBOND FINISH, DUNE		MC4 PORCH TO OUTDOOR AREA PAINTED 'BASALT'
	MC2 R1 METAL WALL CLADDING & ROOF SHEETING LYSAGHT CUSTOM ORB COLORBOND FINISH, SURFMIST		R1 RAINWATER GOODS RAINWATER GOODS TO BE COLORBOND 'BASALT'
	MC3 METAL WALL CLADDING LYSAGHT DOMINON COLORBOND FINISH, BASALT		R2 DOOR/WIND FRAMES TO MATCH COLORBOND 'BASALT'
			R3 FRONT FENCE LYSAGHT NEETASCREEN FENCE COLORBOND FINISH, SURFMIST
			RSD ROLLER SHUTTER DOORS COLORBOND FINISH, DUNE



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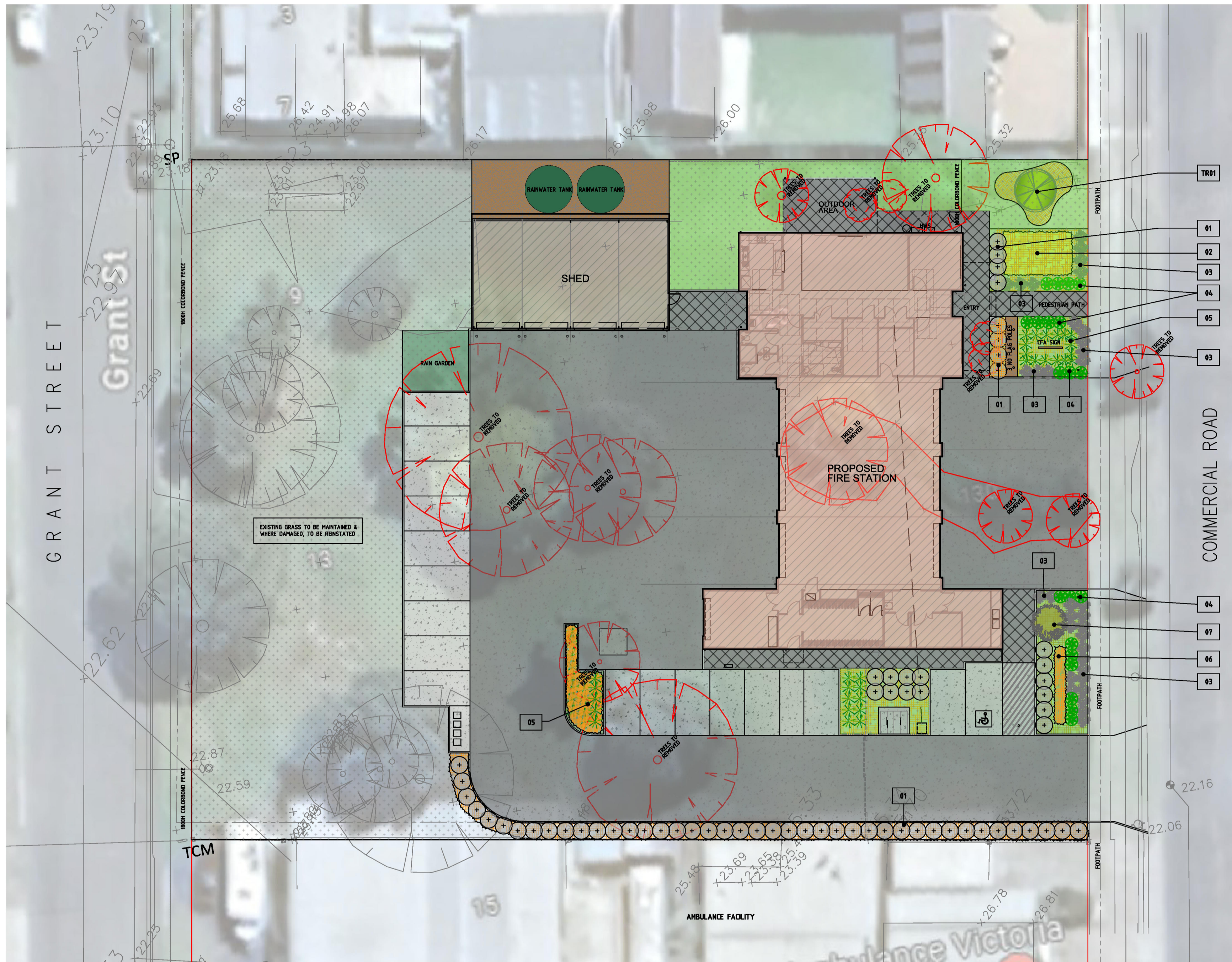
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PROPOSED YARRAM - NEW FIRE STATION
120-130 COMMERCIAL ROAD, YARRAM

CLIENT COMMUNITY SAFETY BUILDING AUTHORITY	JOB NO. 24721	DRAWING NO. TP200	REVISION A	DATE October 2024	SCALE (@A1) 1:100	DRAWING TITLE Elevations
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PRELIMINARY DRAWING
NOT TO BE USED FOR CONSTRUCTION PURPOSES





01



02



03



04



05



06



07



08

LEGEND

- EXISTING TREES TO BE RETAINED
TREE PROTECTION ZONES IN ACCORDANCE
WITH ARBORIST REPORT
- EXISTING TREES TO BE REMOVED
- PROPOSED NATIVE TREES
AS NOTED WITHIN SCHEDULE
- MULCH GARDEN BEDS
ORGANIC LEAF MULCH
- MULCH TREES
100mm DEEP 'EUKY' MULCH' or SIMILAR
- PROPOSED GRASSED AREAS
NATIVE KIKUYU SEED MIX
- EXISTING GRASSES
TO BE MAINTAINED, WHERE DAMAGED
TO BE RE-SEEDING/REINSTATED
- HD CONC. PAVEMENT
TO CIVIL ENGINEERS DRAWINGS
- MD CONC. PAVEMENT
TO CIVIL ENGINEERS DRAWINGS
- PEDESTRIAN CONC. PAVEMENT
TO CIVIL ENGINEERS DRAWINGS
- GRAVEL/CRUSHED ROCK
TO CIVIL ENGINEERS DRAWINGS

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CODE	TYPE	COMMON NAME	BOTANIC NAME	SIZE (MATURITY)	RECOMMENDED POT SIZE	QTY
01	GRASSES	BLACK ANTHUR FLAX LILY	DANIELLA REVOLUTA	0.7 X 1.2	TUBESTOCK	60
02	GRASSES	YALL SEDGE	CAREX APPRESCA	0.8 X 0.8	TUBESTOCK	40
03	GRASSES	BLUE DAMPIERA	DAMPIERA STRICTA	0.3 X 0.3	TUBESTOCK	37
04	GRASSES	HEATH PINK BELLS	TETRAITHECA BAUERIFOLIA	0.4 X 0.3	TUBESTOCK	20
05	GRASSES	SPINY HEADED MATT RUSH	LOMANDRA LONGIFOLIA	0.7 X 0.6	TUBESTOCK	25
06	SHRUB	HOPE GOODENIA	GODDENIA OVATA	1.8 X 1.5	TUBESTOCK	20
07	SHRUB	COMMON CORREA	CORREA REFLEXA	1.5 X 2.0	TUBESTOCK	01
TR01	TREE	LIGHTWOOD	ACACIA IMPLEXA	8.0 X 7.0	45L	01

LANDSCAPE NOTES

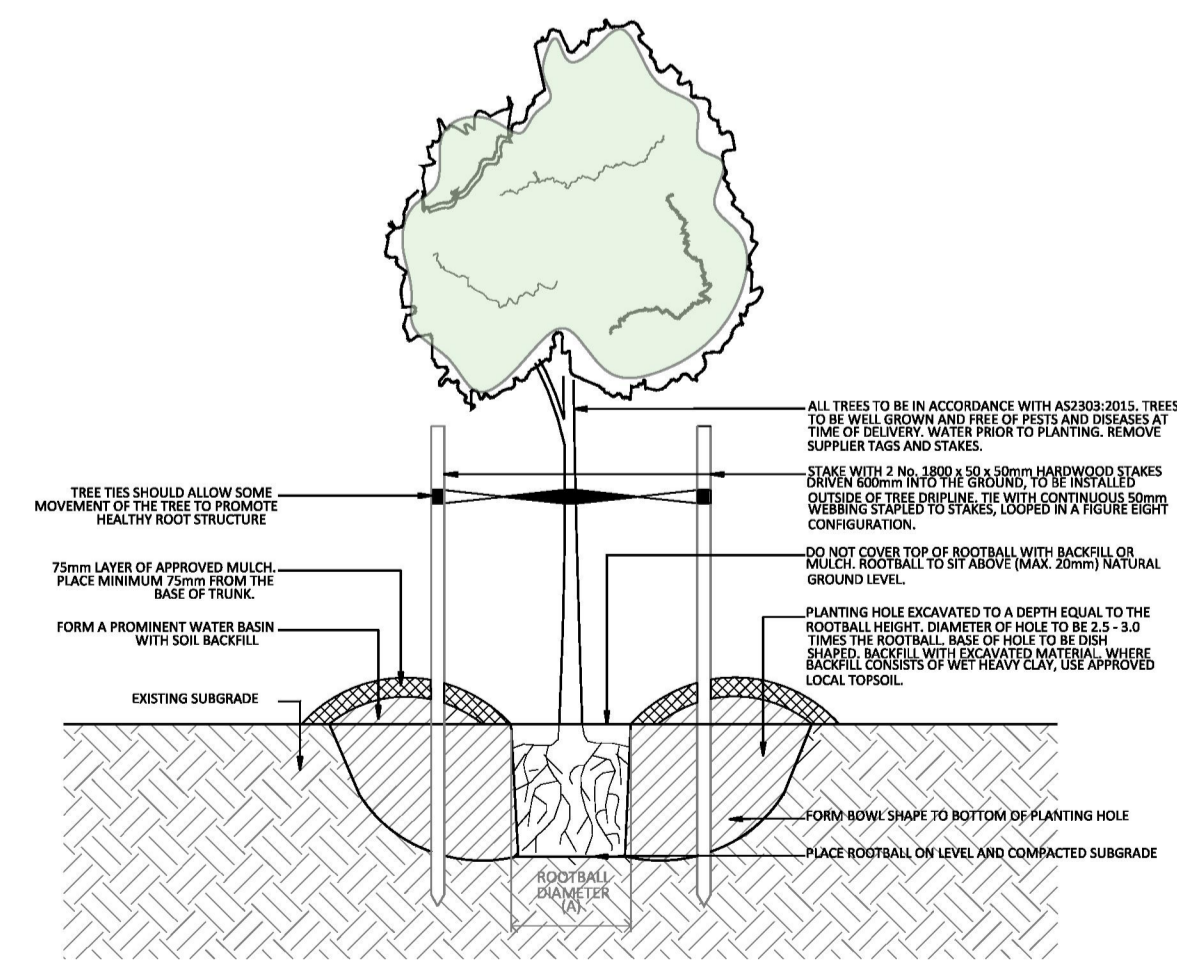
SITE PREPARATION
SOIL PREPARATION
 ALL SITE PREPARATION IS TO BE CARRIED OUT IN ACCORDANCE WITH HORTICULTURAL BEST PRACTICES. DISTURBANCE TO EXISTING SOILS IS TO BE MINIMISED WHERE POSSIBLE.
 ANY CRUSHED ROCK, CONCRETE SPILLAGE OR ANY OTHER MATERIALS THAT MAY RESTRICT PLANT GROWTH ARE TO BE REMOVED OFF SITE FROM ANY PLANTING BEDS AND SEMI-ADVANCED TREES.
 ANY EXISTING TREES TO BE REMOVED ARE TO BE STUMP GROUND AND ALL RUBBISH/VEGETATION SPOIL IS TO BE REMOVED FROM SITE.
 MACHINERY THAT COULD CAUSE DAMAGE TO EXISTING SOIL STRUCTURE OR PROFILE IS UNACCEPTABLE.
WEED REMOVAL
 CONTRACTOR TO ALL FOR THE REMOVAL AND DISPOSAL OF ALL WEEDS OFF SITE PRIOR TO THE SUBGRADE PREPARATION, TOPSOILING AND PLANTING WORKS. THIS INCLUDES THE REMOVAL OF ALL ROOTS AND RHIZOMES OF NON-WOODY PERENNIALS AND WOODY SUCKERING WEEDS USING CHEMICAL MEANS. CARE TO BE TAKEN SO THAT THERE IS NO DAMAGE TO EXISTING TREES TO BE RETAINED.
SUBGRADE PREPARATION
 ALL TURF AND PLANTED AREAS TO HAVE A MIN DEPTH OF 50MM CULTIVATED DEPTH AND SHAPED TO ALLOW FOR DRAINAGE FALLS PRIOR TO APPLICATION OF TOPSOIL.
 SUBGRADE SOIL TO BE TESTED PRIOR TO DETERMINE APPROPRIATE SALINITY, PH AND GYPSUM REQUIREMENTS. IF GYPSUM IS REQUIRED IT IS TO BE ADDED IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS.
 IMPORTED TOP-SOIL IS TO BE FREE OF WEEDS, RUBBLE AND ANY OTHER MATERIALS THAT COULD CAUSE DAMAGE TO THE PLANTS GROWTH. TOP-SOIL IS TO BE LAID OVER THE CULTIVATED SUBGRADE TO THE APPROPRIATE DEPTH TO A MIN OF 100MM. TO COMPLY WITH AS 2223-1978. PH OF BETWEEN 6.0-7.0. LIGHT TO MEDIUM FRIABLE LOAM. TO BE LIGHTLY COMPACTED TO MIN 300MM DEPTH FOR GARDEN BEDS, MIN 100MM THICK FOR LAWN AREAS.

FERTILISER
 ALLOW FOR APPLICATION OF A 3-6 MONTH SLOW RELEASE FERTILISER TO ROOTBALL SURROUNDS AS PER MANUFACTURERS RECOMMENDATIONS/RATES ETC.
PLANTING
 EXERCISE ACCEPTABLE HORTICULTURAL PRACTICES WHEN PLANTING. PLANTING TO CONFORM WITH THIS LANDSCAPE PLAN AND PLANT SCHEDULE WITH THE DENSITY OF PLANTING APPROPRIATE TO THE PARTICULAR SPECIES AND SIZE OF PLANT. PLANTS TO BE THOROUGHLY SOAKED THROUGH IMMERSION IN WATER PRIOR TO PLANTING. IF THE ROOT BALL OF THE PLANT IS DRY THEN THE PLANTING HOLE IS TO BE FILLED WITH WATER AND ALLOWED TO DRAIN.
 WHEN SELECTING PLANTS, THEY ARE TO BE HARDENED OFF BY THE NURSERY TO REDUCE EFFECTS OF TRANSPILANT SHOCK. CHOOSE PLANTS THAT PRESENT HEALTHY, FULL LARGE ROOT BALL, WITH NO EVIDENCE OF ROOT CUR, OR POT BOUND RESTRICTION OR DAMAGE, FREE FROM DISEASE AND PEST AND IN GOOD FORM WITH NO ABNORMAL FEATURES.
 WHEN PLANTING, THE HOLES FOR SHRUBS AND GROUND COVER ARE TO BE MIN 75MM LARGER THAN THE PLANTING POT IN ALL DIRECTIONS. WHEN PLANTING TREES THE HOLE IS TO MATCH THE SIZE OF THE TREE ROOT BALL AND 2-3 TIMES THE DIAMETER. A 75MM HIGH BERM IS TO BE FORMED TO ALLOW FOR THE HOLDING OF WATER. ALL PLANTS TO BE THOROUGHLY WATERED AFTER PLANTING AND ADDITIONAL SLOW RELEASE FERTILISER TO BE ADDED. BUILDER TO MAINTAIN A WATERING PLAN DURING THE PROCESS OF CONSTRUCTION UNTIL HANDOVER TO ENSURE PLANTS HAVE SETTLED IN TO AVOID STRESS/DEATH OF PLANTS.
MULCH
 TO ALL GARDEN BEDS, IT IS TO BE AN ORGANIC TYPE LAID TO A MIN DEPTH OF 75MM. THE MULCH IS TO BE FINE DARK COLOURED CHIPPED OR SHREDED PINE BARK OR HARDWOOD, NO MORE THAN 5% GINES CONTENT BY VOLUME. WOOD CHIPS TO BE OF AVERAGE SIZE (10MM X 20MM X 5MM) WITH LENGTHS NOT EXCEEDING 25MM. MUST BE FREE OF STONES, WEEDS, STICKS ETC THAT MIGHT CAUSE DAMAGE TO THE PLANTS GROWTH. MULCH TO BE KEPT BACK 75MM FROM PLANTS. TO BE SPREAD OUT OVER GARDEN BEDS TO A DEPTH OF MIN 50MM.

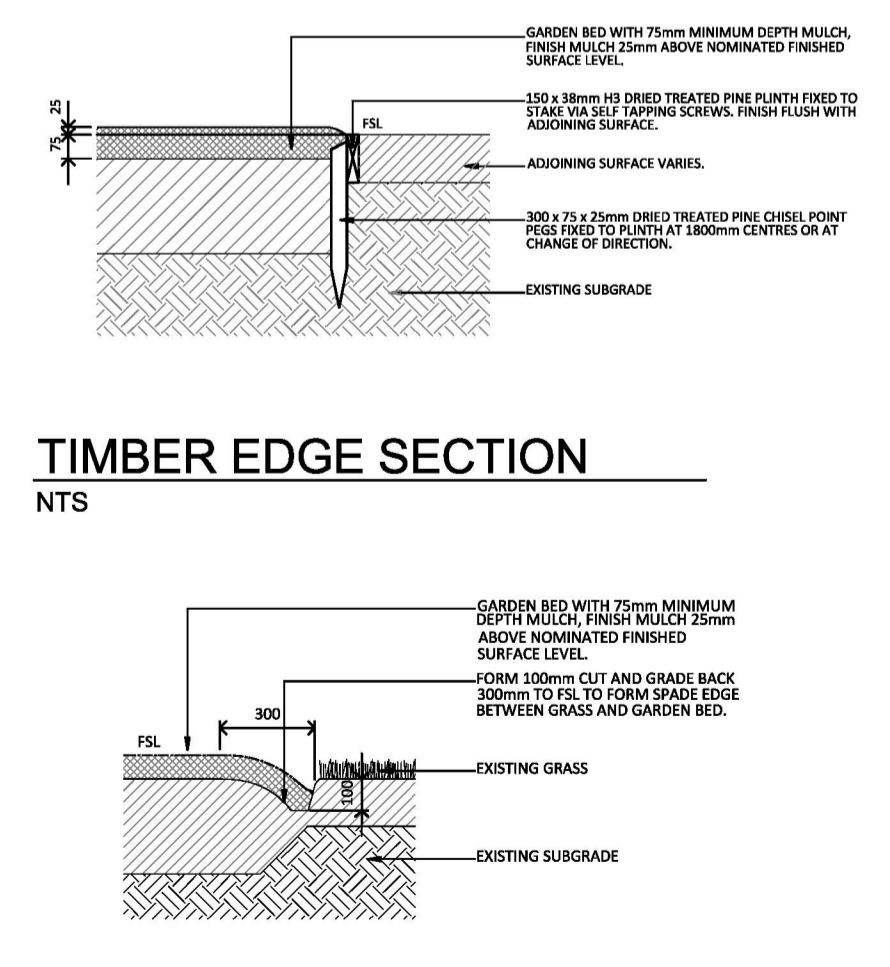
GRAVEL SURFACES
 GRAVEL SURFACES TO BE INSTALLED IN ACCORDANCE WITH CIVIL ENGINEERS DRAWINGS. CONTRACTOR TO ALLOW FOR TIMBER EDGING IN ACCORDANCE WITH DETAILS ON THIS DRAWING.
TIMBER EDGING
 CONTRACTOR TO PROVIDE 75 X 25mm TREATED PINE EDGING TO ALL BORDERS BETWEEN LAWN, GRAVEL AND GARDEN BEDS. TREATED PINE STAKES OF MIN 75X25X300MM LONG ARE TO BE USED TO SECURE TREATED PINE EDGE.
 A SPADE EDGE DETAIL TO BE USED WHERE TIMBER EDGING IS NOT APPROPRIATE.
GRASSING/SEEDING
 ALL AREAS ON DRAWING SHOWN AS EXISTING GRASS ARE TO BE RETAINED AS BEST AS POSSIBLE WITH LITTLE TO NO DAMAGE. IF DAMAGE TO GRASS DOES OCCUR, CONTRACTOR IS TO ALLOW FOR THE REINSTATEMENT OF GRASS THROUGH HYDROSEEDING. PRIOR TO THE INSTALLATION OF LAWN SEED, CONTRACTOR TO ALLOW FOR THE THOROUGH ERADICATION OF ALL WEEDS, EITHER THROUGH MANUAL MEANS OR KNOCK-DOWN HERBICIDES. ALL APPROPRIATE SEED SOWING METHODS ARE TO BE UNDERTAKEN IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS TO ENSURE, SURVIVAL, AND APPROPRIATE COVERAGE. ANY AREAS THAT MAY NOT HAVE GERMINATED ARE TO BE RE-SEEDING WITHIN A MONTH OF ORIGINAL SOWING DATE. CONTRACTOR TO IMMEDIATELY BRIGATE FOLLOWING SOWING. CONTRACTOR TO ALSO ALLOW FOR RE-SEEDING OF NATURE STRIP DUE TO DAMAGE CAUSED BY CONSTRUCTION ACTIVITY IN ACCORDANCE WITH THE ABOVE REQUIREMENTS. CONTRACTOR TO ALLOW FOR FILLING OF DEPRESSIONS WITH TOPSOIL AND LIGHTLY COMPACTED IN 100MM LAYERS.
 GRASS SPECIES TO BE IN ACCORDANCE WITH LOCAL COUNCIL/AREA RECOMMENDATIONS. CONTRACTOR TO USE ENVIRONMENTALLY SUSTAINABLE PRODUCTS.
TREE PROTECTION NOTES
 PRIOR TO COMMENCEMENT OF ANY BUILDING WORKS, THE TREE PROTECTION ZONE OF ALL EXISTING TREES IS TO BE RETAINED AND MUST BE ESTABLISHED AND MAINTAINED DURING AND UNTIL COMPLETION OF ALL WORKS TO THE SATISFACTION OF THE LOCAL AUTHORITY. CONTRACTOR TO REFER TO ARBORISTS REPORT AND TPZ IS TO BE IN ACCORDANCE WITH ALL RELEVANT AUSTRALIAN STANDARDS.

LANDSCAPE DESIGN

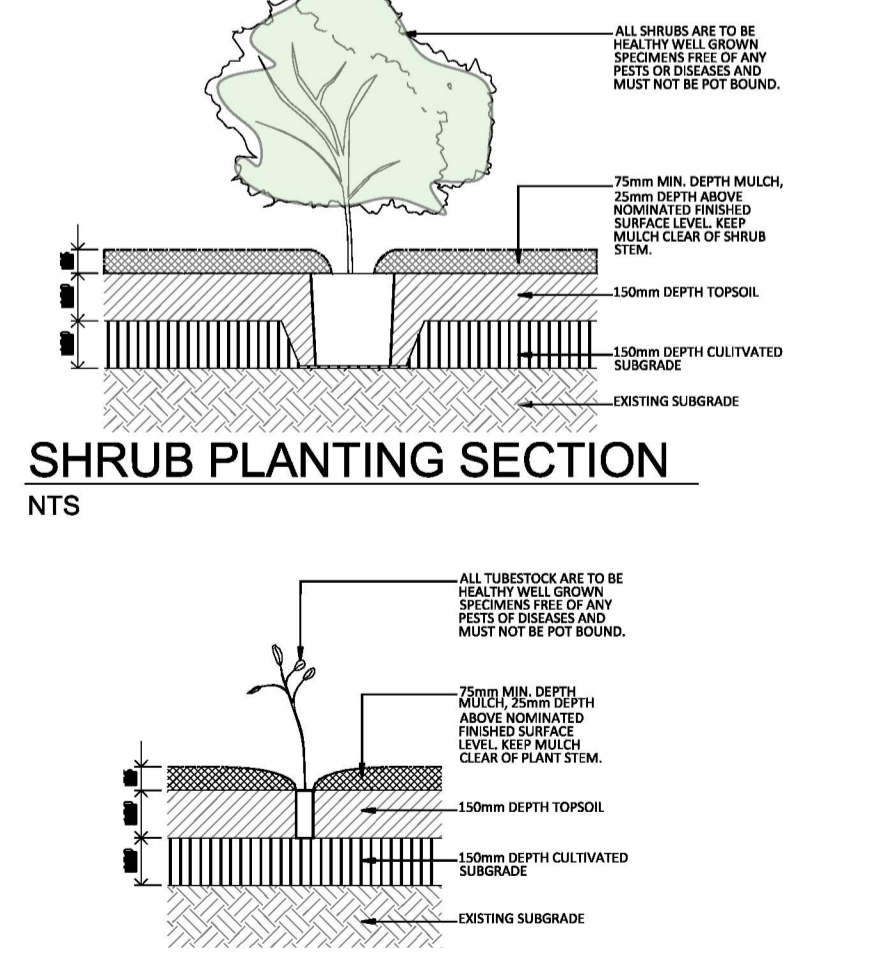
SCALE 1:200



ADVANCED TREE PLANTING SECTION



SPADE EDGE SECTION



TUBESTOCK PLANTING - SECTION

PROPOSED YARRAM - NEW FIRE STATION
 120-130 COMMERCIAL ROAD, YARRAM

CLIENT COMMUNITY SAFETY BUILDING AUTHORITY	JOB NO. 24721	DRAWING NO. TP020	REVISION A	DATE October 2024	SCALE (@A1) 1:200	DRAWING TITLE Landscape Design
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PRELIMINARY DRAWING
 NOT TO BE USED FOR CONSTRUCTION PURPOSES

