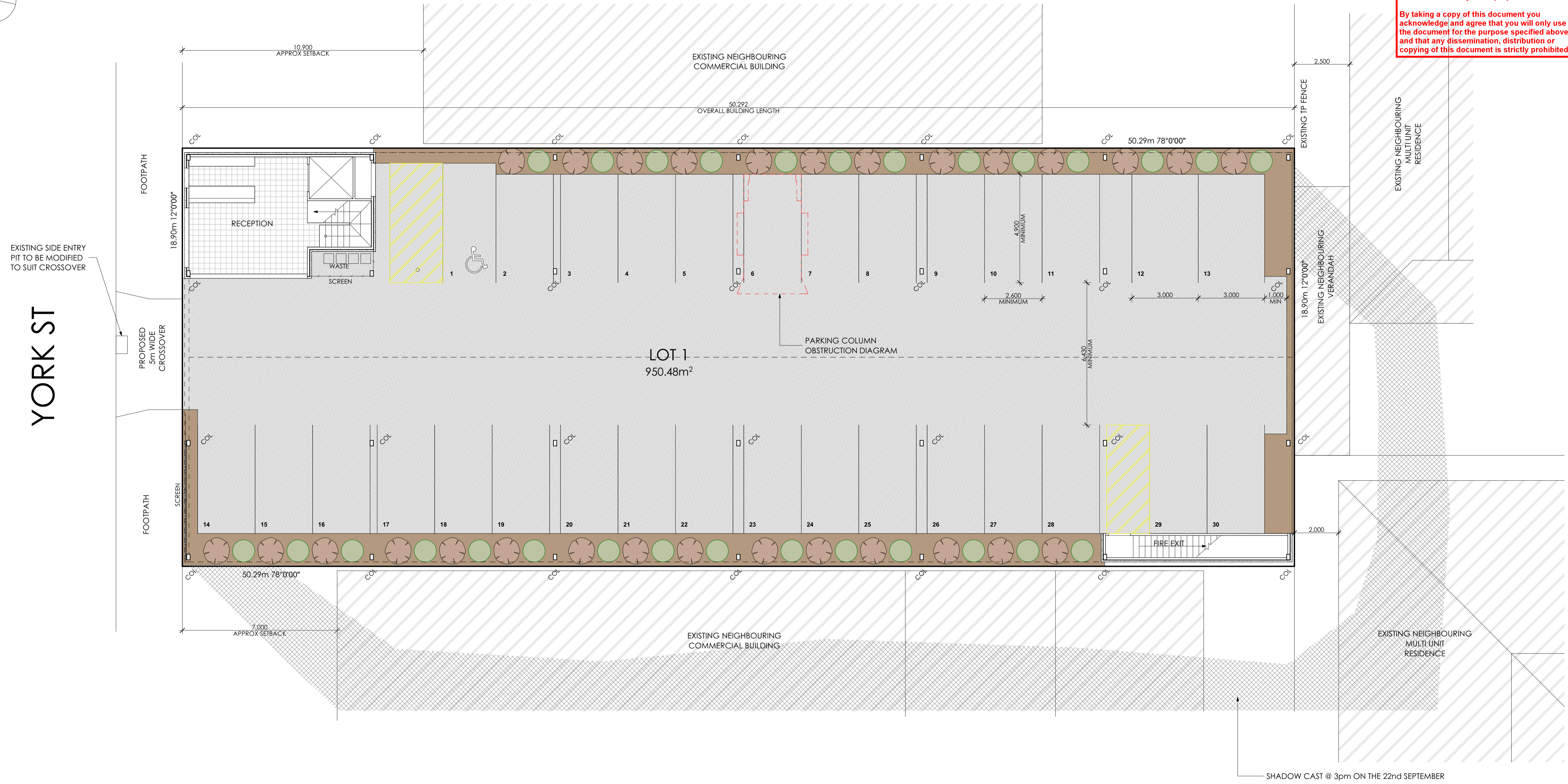


This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



GROUND LEVEL AREA ANALYSIS

	TOTAL LAND	= 950.48m ² (100%)
	LANDSCAPING	= 127m ² (13.4%)
	ALL WEATHER SEALED ACCESS WAY (CONCRETE)	= 762.79m ² (80%)
	GRASS	= 0m ² (0%)
	BUILDING	= 56.61m ² (6%)

PLANT SCHEDULE

2D SYMBOL	QTY	BOTANICAL NAME	COMMON NAME	INSTALL SIZE	MATURE SIZE
	28	DAIVESIA ULICIFOLA	GORSE BITTER-PEA	50mm POT	1.2m (H) x 1m (W)
	28	LOMANDA FILIFORMIS	WATTLE MAT-RUSH	42mm POT	25m (H) x .20m (W)

PARKING ANALYSIS

BUILDING	NET AREA	SPACES REQUIRED
FLOOR	788m ²	23

PARKING ALLOCATION

SPACES 1 TO 30

DISABLED PARKING

SPACE IDENTIFICATION
EACH DEDICATED SPACE SHALL BE IDENTIFIED BY MEANS OF A WHITE SYMBOL OF ACCESS IN ACCORDANCE AS1428.1 BETWEEN 800 AND 1000mm HIGH PLACED ON A BLUE RECTANGLE WITH NO SIDE MORE THAN 1200mm. OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTION PLACED AS A PAVEMENT MARKING IN THE CENTER OF THE SPACE BETWEEN 500 AND 600mm FROM ITS ENTRY POINT AS ILLUSTRATED.

SPACE DELINEATION
PAVEMENT MARKINGS SPECIFIED IN ITEMS (A) AND (B) OF THIS CLAUSE SHALL BE YELLOW AND SHALL HAVE A SLIP RESISTANT SURFACE. RAISED PAVEMENT MARKERS SHALL NOT BE USED FOR SPACE DELINEATION.

1. PAVEMENT MARKINGS SHALL BE PROVIDED AS FOLLOWS:
2. SHARED AREAS SHALL BE MARKED AS FOLLOWS:
- WALKWAYS WITHIN OR PARTLY WITHIN A SHARED AREA SHALL BE MARKED WITH UNBROKEN LONGITUDINAL LINES ON BOTH SIDES OF THE WALKWAY EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL
- OTHER VACANT NON-TRAFFICKED AREAS, WHICH MAY BE INTENTIONALLY OR UNINTENTIONALLY OBSTRUCTION (E.G. BY UNINTENDED PARKING), SHALL BE OUTLINE WITH UNBROKEN LINES 80 TO 100mm WIDE ON ALL SIDES EXCEPTING ANY SIDE DELINEATED BY A KERB, BARRIER OR WALL, AND MARKED WITH DIAGONAL STRIPES 150 TO 200mm WIDE WITH SPACES 200 TO 300mm BETWEEN STRIPES. THE STRIPES SHALL BE AT AN ANGLE OF 45 DEGREES TO THE SURFACE OF THE SPACE
- NO SHARED AREA MARKINGS SHALL BE PLACED IN TRAFFICKED AREAS
- ALL LINEMARKING SHALL BE NON-SLIP

3. BOLLARDS SHALL BE AS FOLLOWS:
- HAVE A MINIMUM HEIGHT OF 1300mm
- RECOMMENDED COLOUR BLUE TO CONTRAST AGAINST YELLOW LINE MARKING
- RECOMMENDED FLEXIBLE TO REDUCE MOTOR VEHICLE DAMAGE ON IMPACT

FLEXIBLE BOLLARD 1300mm HIGH ABOVE GROUND LEVEL COLOURED DISABILITY BLUE

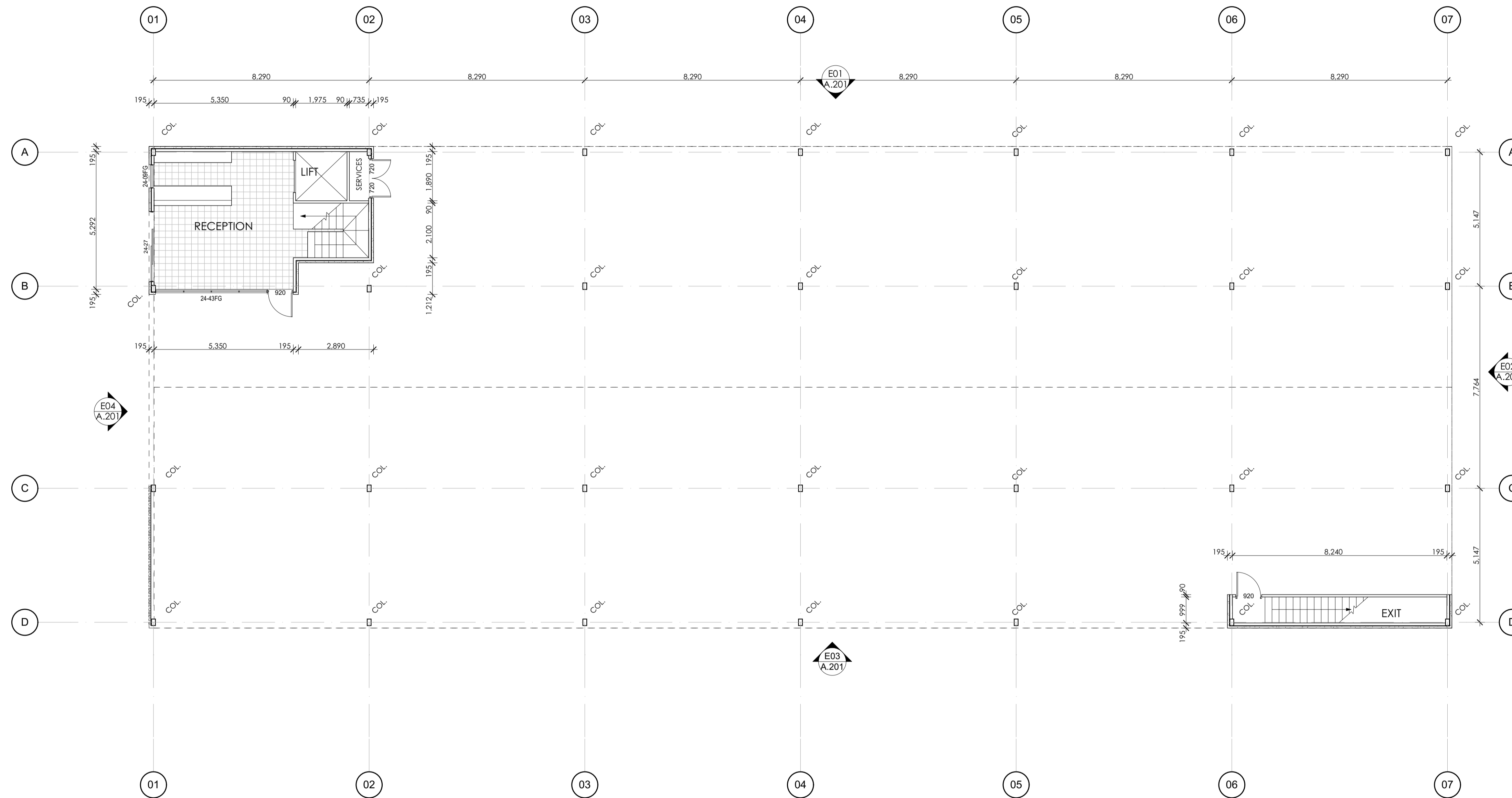
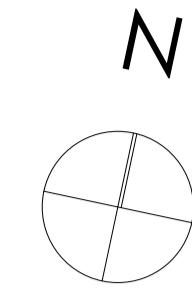
REV	DESCRIPTION	BY	DATE	DESIGNED	PROJECT	SHEET NO.
-	ISSUED FOR TOWN PLANNING	AB	22/12/2024	ANTHONY BAYLEY	PROPOSED OFFICE COMPLEX	P206
				REGISTRATION NO. PEO01116	CLIENT: FOR BRETT HEKMAN	A.101
				DRAWN: AB	196 - 198 YORK ST. SALE VIC 3850	SCALE: 1:100, 1:1
				CHECKED: AB	DRAWING: SITE PLAN	SHEET SIZE: @A3
				DATE: 22/12/2024		REVISION: -





This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



BUILDING AREAS		
AREA	m ²	sq
GROUND FLOOR	56.61	6.07
FIRST FLOOR	926.39	99.29
TOTAL	983	105.36

GROUND FLOOR PLAN 1:100

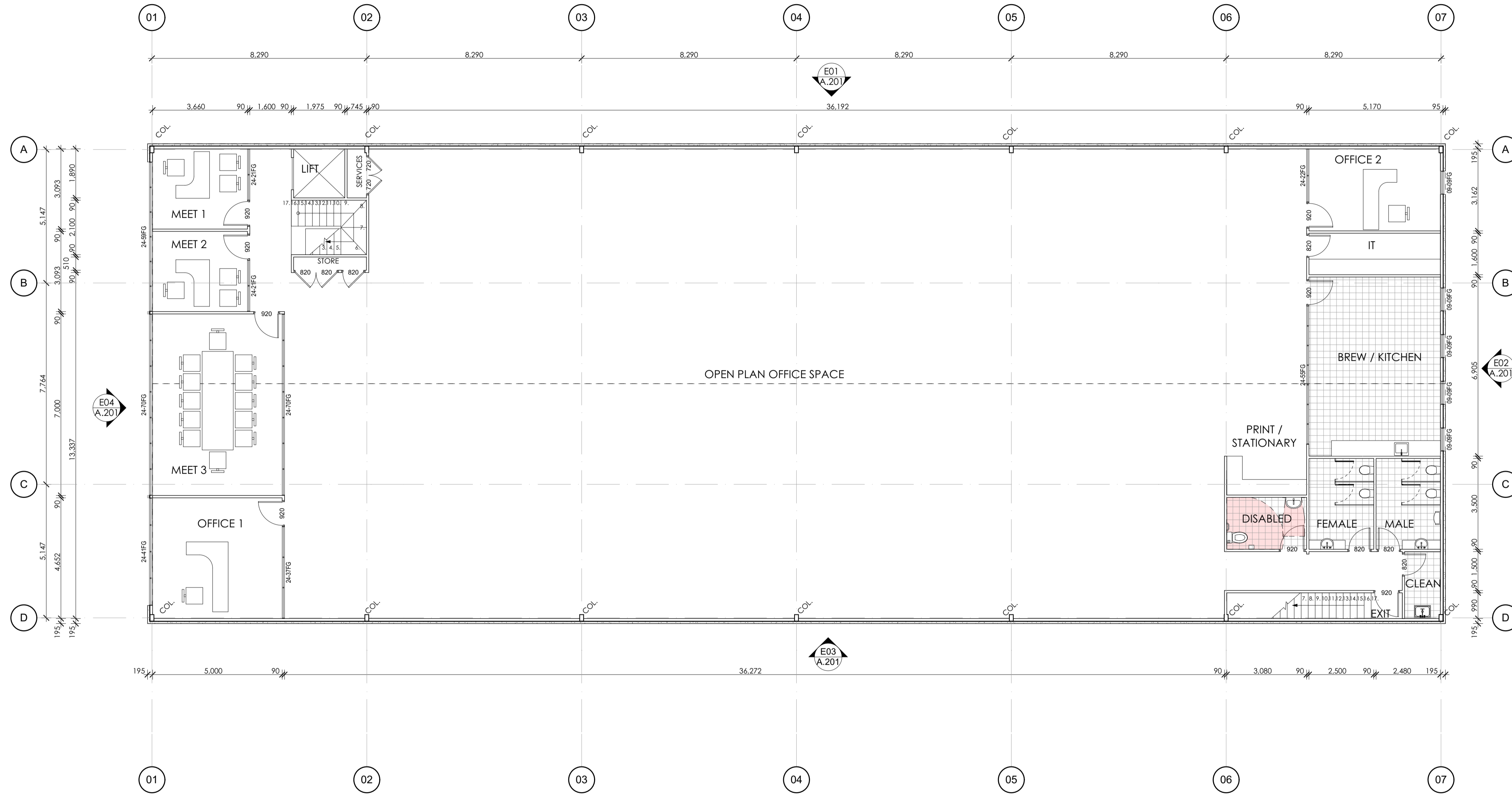
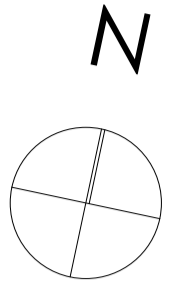


REV	DESCRIPTION	BY	DATE	DESIGNER	PROJECT	JOB NO.
-	ISSUED FOR TOWN PLANNING	AB	22/12/2024	ANTHONY BAYLEY	PROPOSED OFFICE COMPLEX	P206
				REGISTRATION NO. PEO01116	CLIENT: FOR BRETT HEKMAN	SHEET NO. A.102
				DRAWN: AB	196 - 198 YORK ST. SALE VIC 3850	SCALE: 1:100
				CHECKED: AB	DRAWING: GROUND FLOOR PLAN	SHEET SIZE: @A3
				DATE: 22/12/2024		REVISION: -



This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

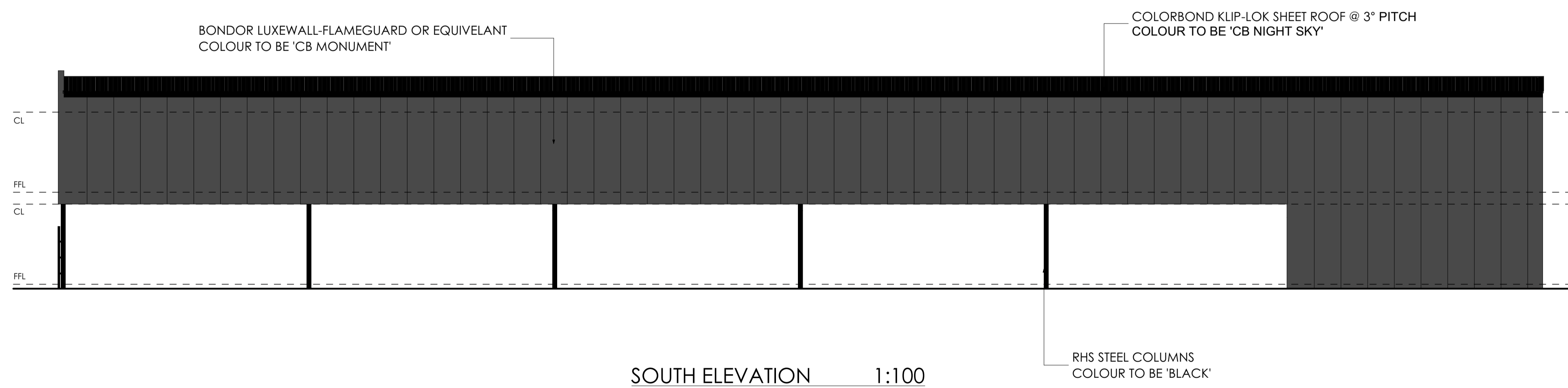
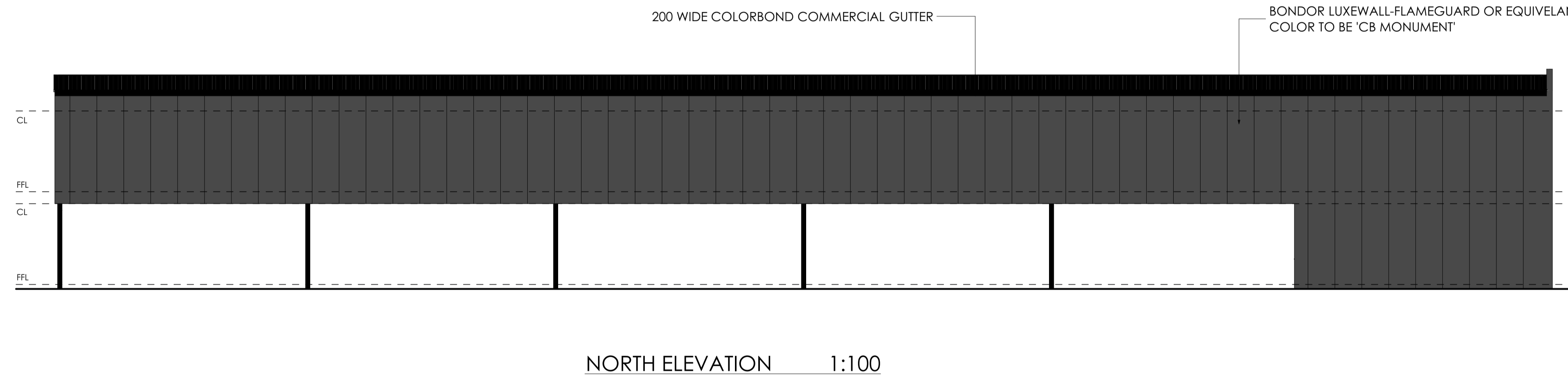
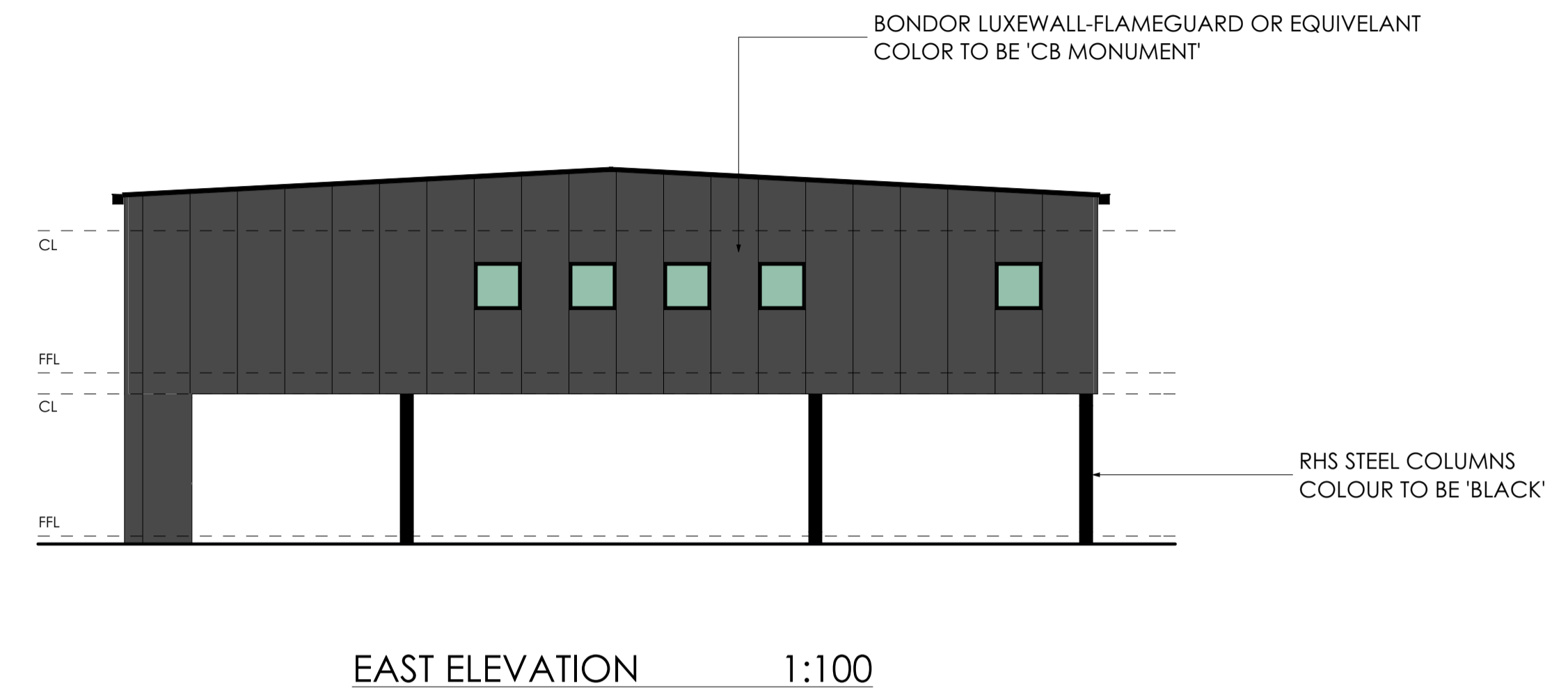
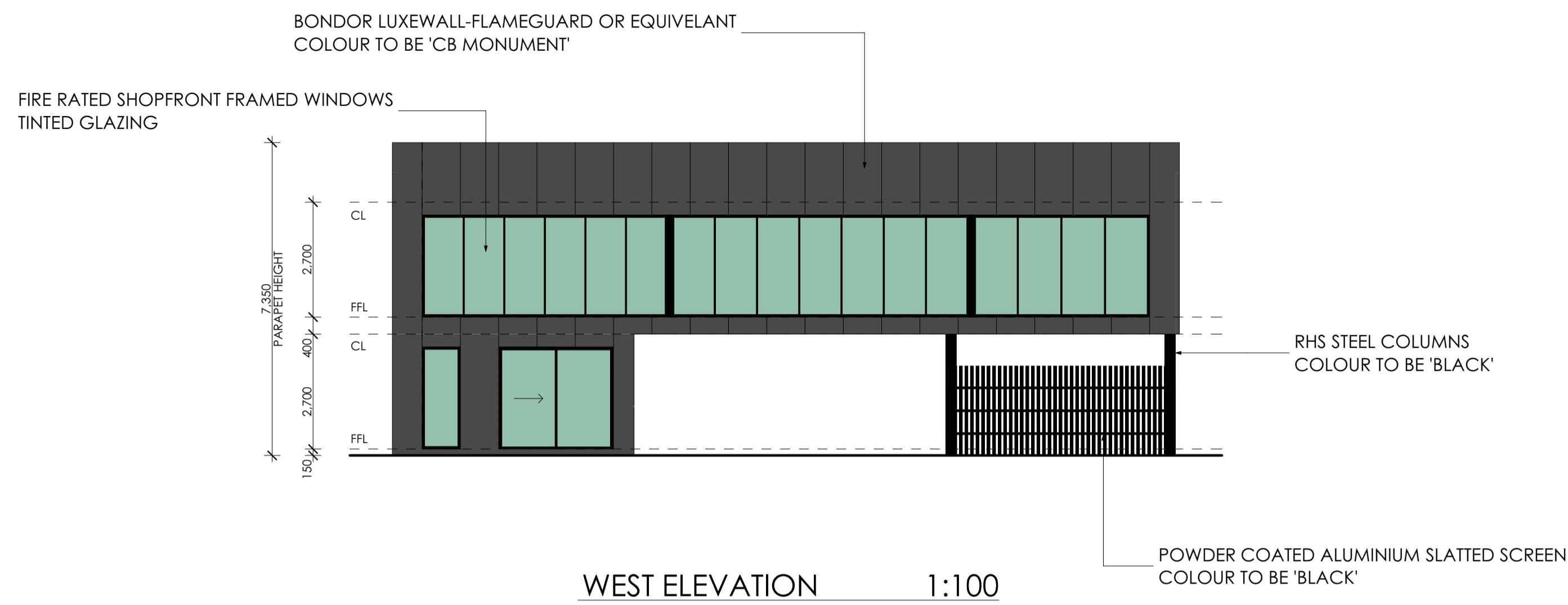


FIRST FLOOR PLAN 1:100

BUILDING AREAS		
AREA	m ²	sq
GROUND FLOOR	56.61	6.07
FIRST FLOOR	926.39	99.29
TOTAL	983	105.36

REV	DESCRIPTION	BY	DATE	DESIGNER	PROJECT	JOB NO.
-	ISSUED FOR TOWN PLANNING	AB	22/12/2024	ANTHONY BAYLEY	PROPOSED OFFICE COMPLEX	P206
				REGISTRATION NO. PEO01116	CLIENT: FOR BRETT HEKMAN	SHEET NO. A.103
				DRAWN: AB	196 - 198 YORK ST. SALE VIC 3850	SCALE: 1:100
				CHECKED: AB	DRAWING: FIRST FLOOR PLAN	SHEET SIZE: @A3
				DATE: 22/12/2024		REVISION: -

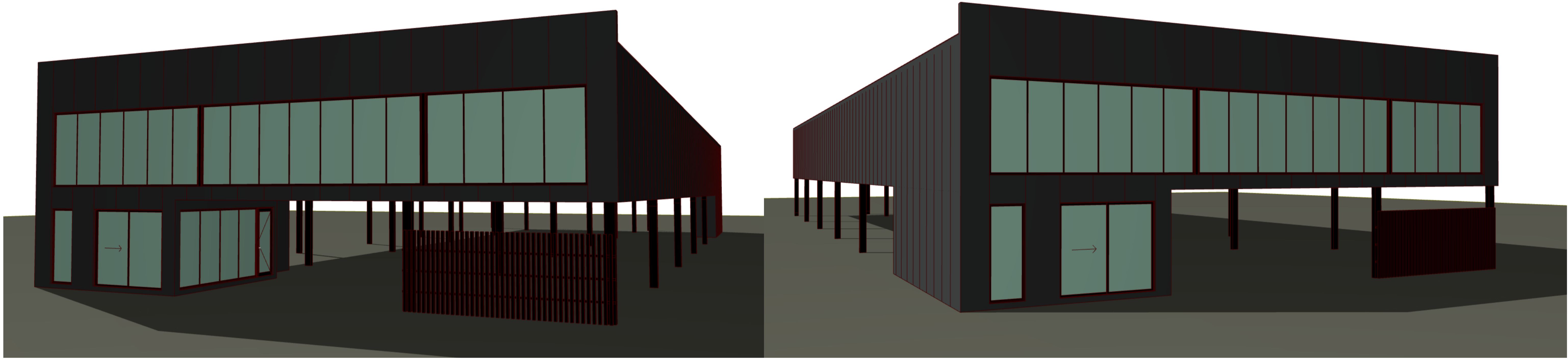




This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

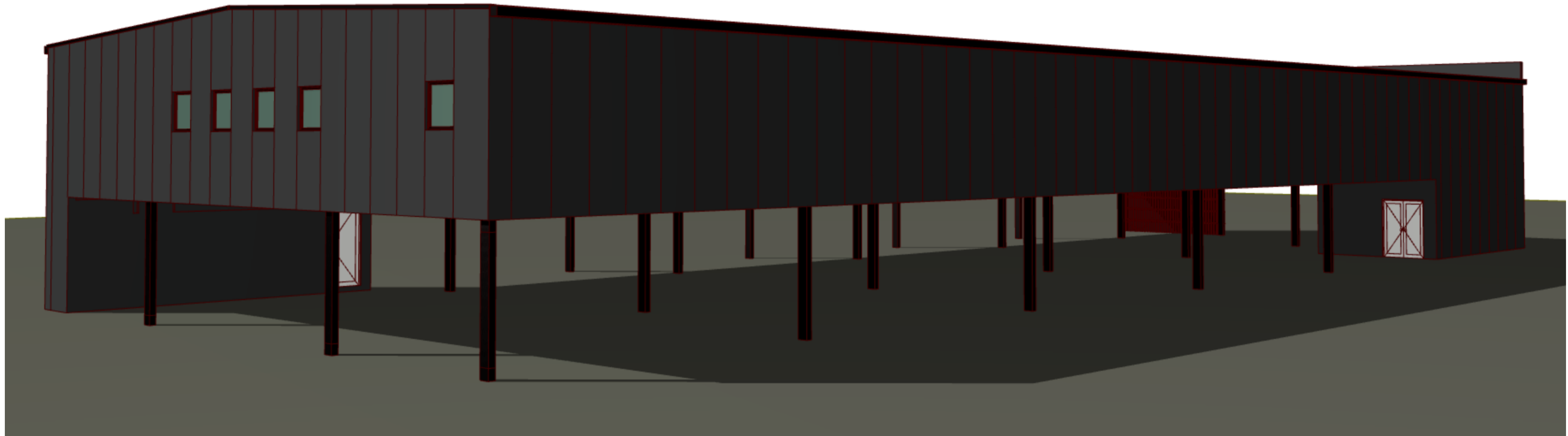
By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

REV	DESCRIPTION	BY	DATE	DESIGNER	PROJECT	JOB NO.
-	ISSUED FOR TOWN PLANNING	AB	22/12/2024	ANTHONY BAYLEY	PROPOSED OFFICE COMPLEX	P206
				REGISTRATION NO. PED001116	CLIENT: FOR BRETT HEKMAN	SHEET NO. A.201
				DRAWN: AB	196 - 198 YORK ST. SALE VIC 3850	SCALE: 1:100
				CHECKED: AB	DRAWING: ELEVATIONS	SHEET SIZE: @A3
				DATE: 22/12/2024		REVISION: -



This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



REV	DESCRIPTION	BY	DATE	DESIGNER	PROJECT	JOB NO.
-	ISSUED FOR TOWN PLANNING	AB	22/12/2024	ANTHONY BAYLEY	PROPOSED OFFICE COMPLEX	P206
				REGISTRATION NO: PED01116	CLIENT: FOR BRETT HEKMAN	SHEET NO: A.301
				DRAWN: AB	196 - 198 YORK ST. SALE VIC 3850	SCALE:
				CHECKED: AB	DRAWING: 3D PERSPECTIVES	SHEET SIZE: @A3
				DATE: 22/12/2024		REVISION: