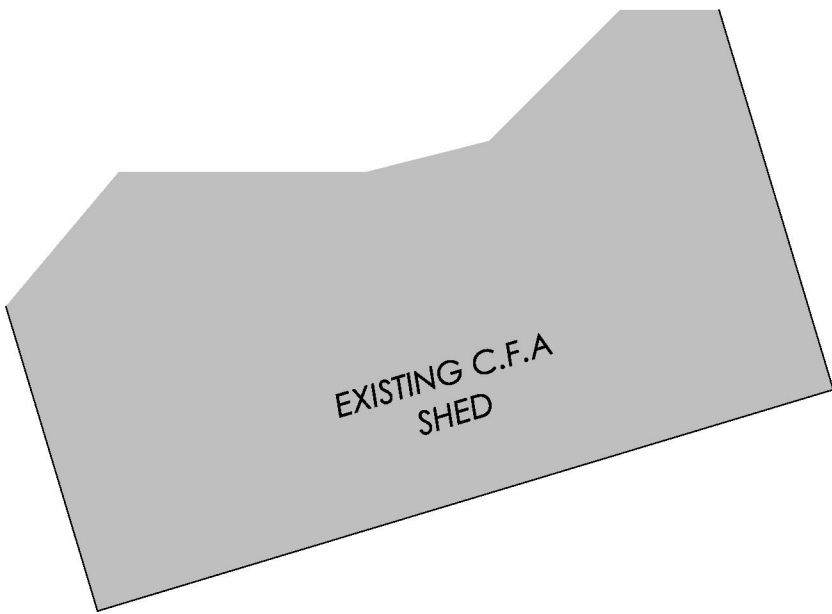
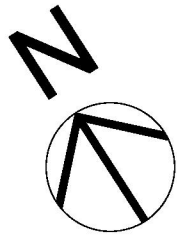


BUILDING REGULATION PART 4- REFER TO SITE PLAN FOR DETAILS

73/74	STREET SETBACK	EXISTING FRONT SETBACK 4.0m	81	DAYLIGHT TO EXIST HAB. WINDOWS	UNAFFECTED
75	BUILDING HEIGHT	4.9m	82	EXISTING NORTH FACING WINDOWS	UNAFFECTED
76	SITE COVERAGE	SITE AREA = 662m ² BUILT AREA = 166.43m ² 25.14%	83	OVERSHADOWING	UNAFFECTED
77	PERMEABLE AREA	74.86%	84	OVERLOOKING	UNAFFECTED
78	CARPARKING	2- CARPORT SPACE & 2 ONSITE VISITOR SPACES	85	DAYLIGHT TO NEW WINDOWS	ALL NORTH FACING WINDOWS ARE UNAFFECTED
79	SIDE & REAR SETBACKS	2.5m SIDE SETBACK ON WEST B'DRY	86	PRIVATE OPEN SPACE	GREATER THAN 80 m ² MIN REQUIRED
80	WALLS ALONG BOUNDARIES	PROPOSED SHED (DETAILS BY OTHERS)			

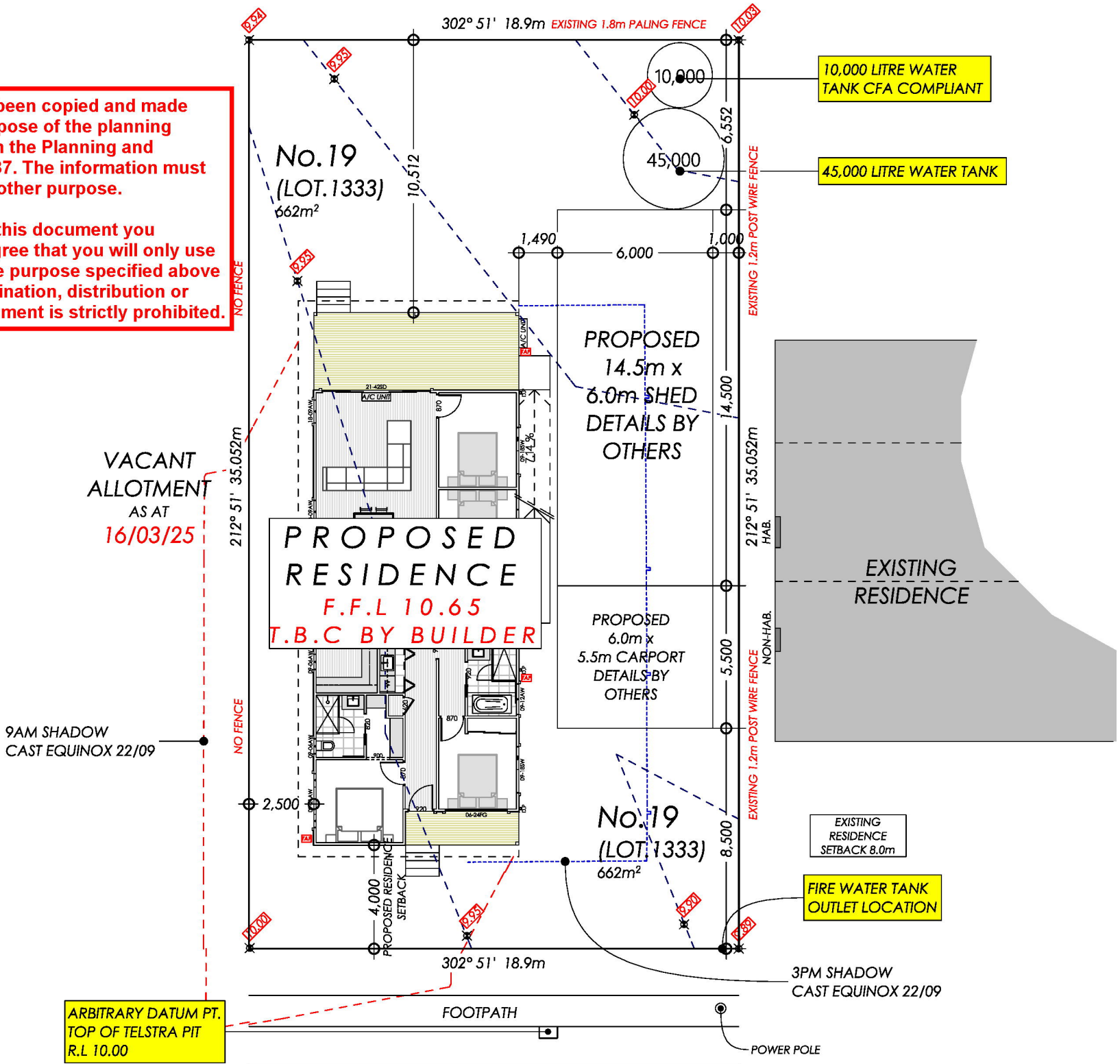


NOTE:
ALL EASEMENTS & BOUNDARY DETAILS
TO BE CONFIRMED WITH COPY OF TITLE
PRIOR TO COMENCING CONSTRUCTION.

NOTE :
PRIOR TO STARTING SETOUT FOR CONSTRUCTION CHECK FOR
SERVICES WHICH MAY OBSTRUCT DRIVEWAY IF SERVICES
ARE GOING TO AFFECT THE RESIDENCE

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BREAM ROAD

A

SITE PLAN
1:200

		PROJECT: PROPOSED NEW RESIDENCE		DESIGNATED BUSHFIRE PRONE AREA 22	
CLIENT: [REDACTED]		No.19 BREAM ROAD LOCH SPORT VIC 3851		CONSTRUCTION REQUIREMENTS TO A MIN BAL 29 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC. DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS	
DP-AD 71537		REVISION NUMBER: REVISION 1	DRAWING TITLE: SITE PLAN	ENERGY RATERS STAMP HERE	
CLIENT SIGNATURE:	BUILDERS SIGNATURE	PROJECT NUMBER: 25008	DRAWN BY: LUKE CARUBIA		
		DRAWING NUMBER: A-5	DATE: 31/03/2025		
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ENERGY RATING REQUIREMENTS

REFER TO FIRSTSTARS ENERGY RATING FOR FURTHER DETAILS

GENERAL
ALL EXTERNAL DOORS TO BE SEALED
ALL DOORS TO UNCONDITIONED ROOMS TO BE WEATHER STRIPED
ALL EXHAUST FANS TO BE SEALED
ALL DOWNLIGHTS TO BE SEALED
ALL CONSTRUCTION GAPS & CRACKS TO BE SEALED

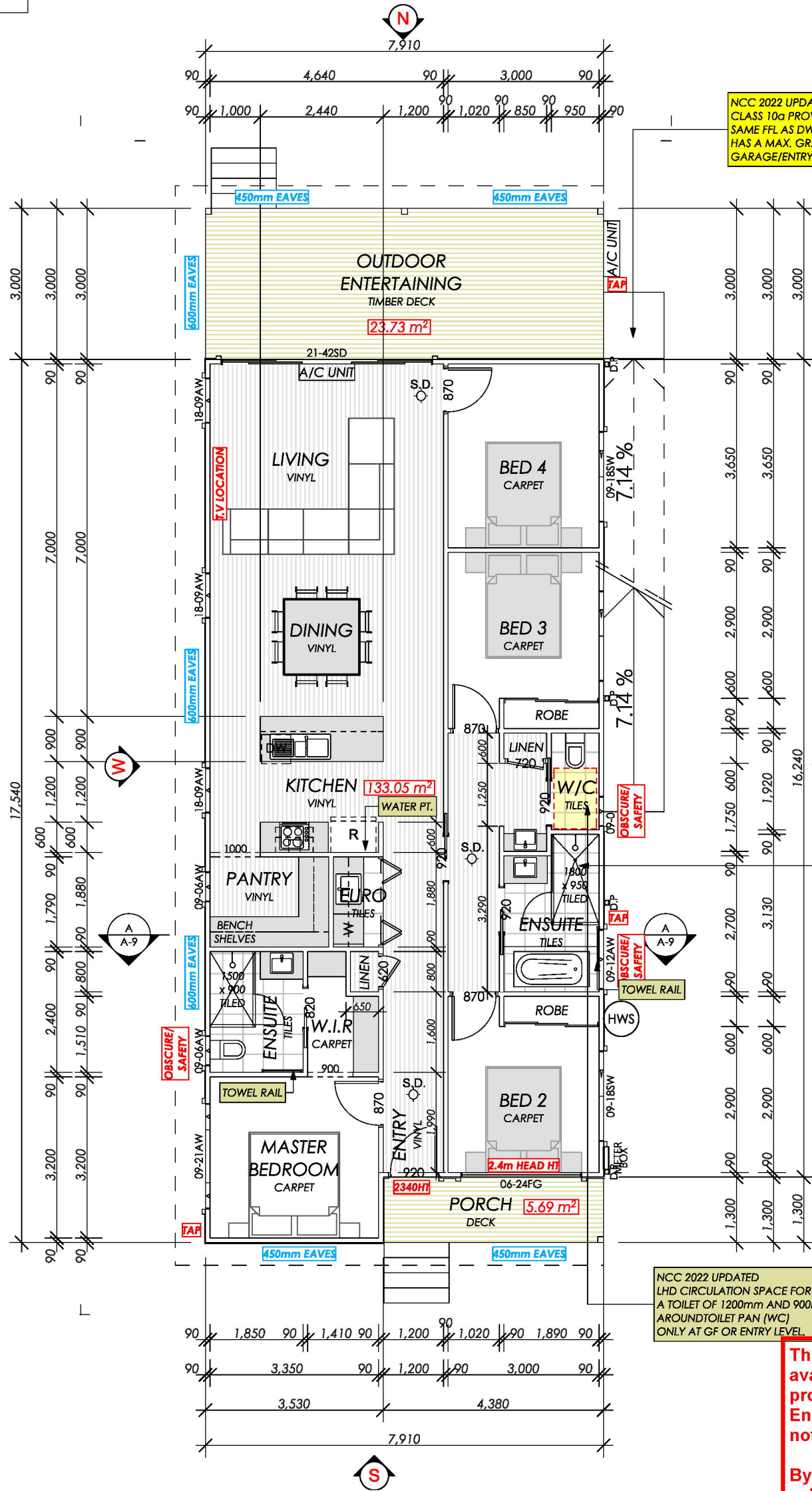
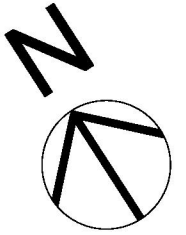
ROOF / CEILING
SHEET ROOF, FOIL SARKING OVER RAFTERS
R4.0 BULK INSULATION BETWEEN CEILING JOISTS

WINDOWS
ALUMINIUM FRAME, SINGLE GLAZED (DOWELL)
REFER TO WINDOWS & DOOR SCHEDULE

EXTERNAL WALLS
DOUBLE SIDED VAPOUR PERMEABLE REFLECTIVE FOIL
FIXED TO EXTERNAL FACE OF STUDS
R2.0 BATTS BETWEEN STUDS, LINED INTERNALLY

INTERNAL WALLS
NO INSULATION REQUIRED

FLOOR
R1.5 FOILBOARD TO TIMBER SUBFLOOR



NCC 2022 UPDATED LHD DWELLING ACCESS 1.1 CLASS 10a PROVIDE STEP FREE ACCESS, 2 OPTIONS SAME FFL AS DWELLING OR A PATH (RAMP) THAT HAS A MAX. GRADIENT OF 1:14 EITHER OR GARAGE/ENTRY HAS A MIN. WIDTH OF 1000mm.

NCC 2022 UPDATED LHD 5.1 AT LEAST ONE SHOWER MUST COMPLY CLAUSE 5.2 HOBLESS AND STEP FREE ENTRY, RECESS NEEDS TO BE LOCATED AT THE CORNER OF ROOM PROVISION OF ADDITIONAL STRUCTURAL WALL MEMBERS FOR FUTURE GRABRAILS FIXING LOCATION. AS PER BATH ADDITIONAL STRUCTURAL WALL MEMBER TO AT LEAST TWO WALLS AROUND THE BATH AREA AS PER DIAGRAM 7(a),(b) LHD.

NCC 2022 UPDATED LHD CIRCULATION SPACE FOR A TOILET OF 1200mm AND 900mm MIN. AROUND TOILET PAN (WC) ONLY AT GF OR ENTRY LEVEL

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A PROPOSED FLOOR PLAN
1:100

PROJECT: PROPOSED NEW RESIDENCE
CLIENT: No.19 BREAM ROAD LOCH SPORT VIC 3851
REVISION NUMBER: 1
DRAWING TITLE: FLOOR PLAN

CLIENT SIGNATURE: BUILDERS SIGNATURE

PROJECT NUMBER: 25008
DRAWING NUMBER: A-6

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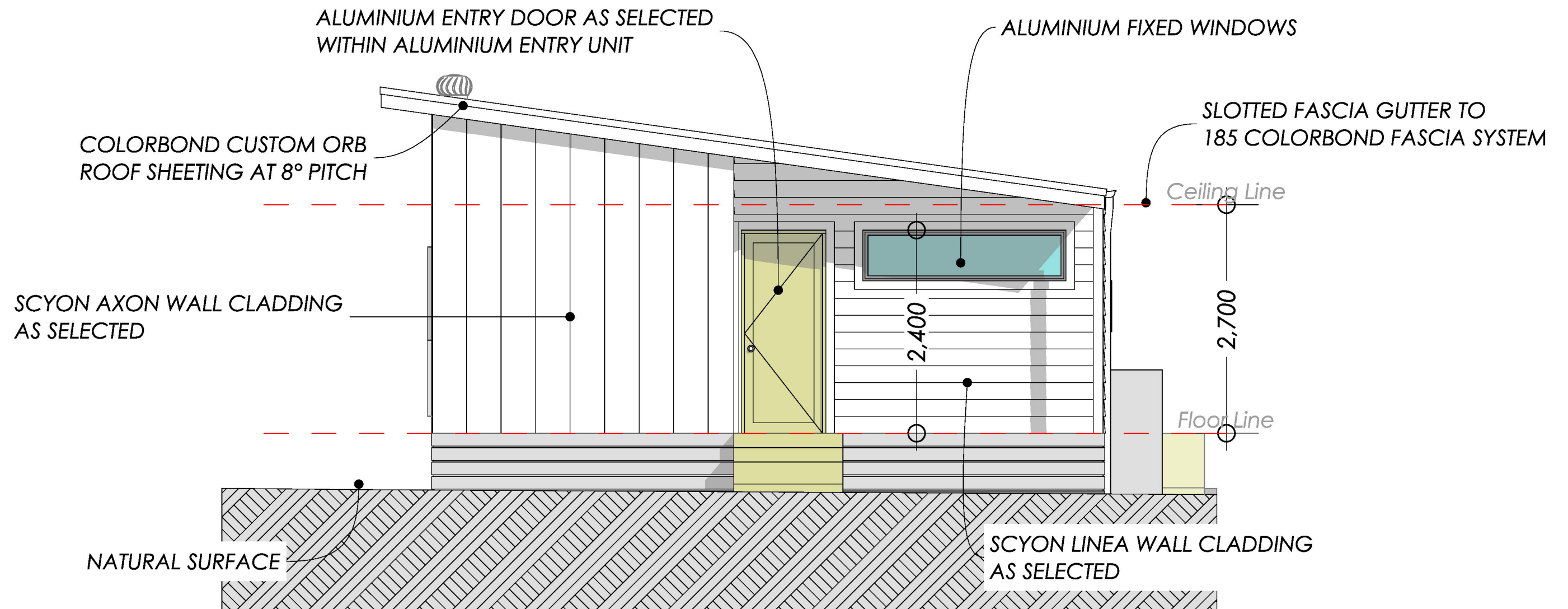
DRAWN BY: LUKE CARUBIA
DATE: 31/03/2025
SCALE: AS NOTED @ A3

DESIGNATED BUSHFIRE PRONE AREA 22
CONSTRUCTION REQUIREMENTS TO A MIN BAL 29 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC. DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

ENERGY RATERS STAMP HERE

Area Summary		
Zone	m2	Sqr
Living Area	133.05	14.32
Porch Area	5.69	0.61
Outdoor Entertaining	27.69	2.98
Total Area	166.43	17.91

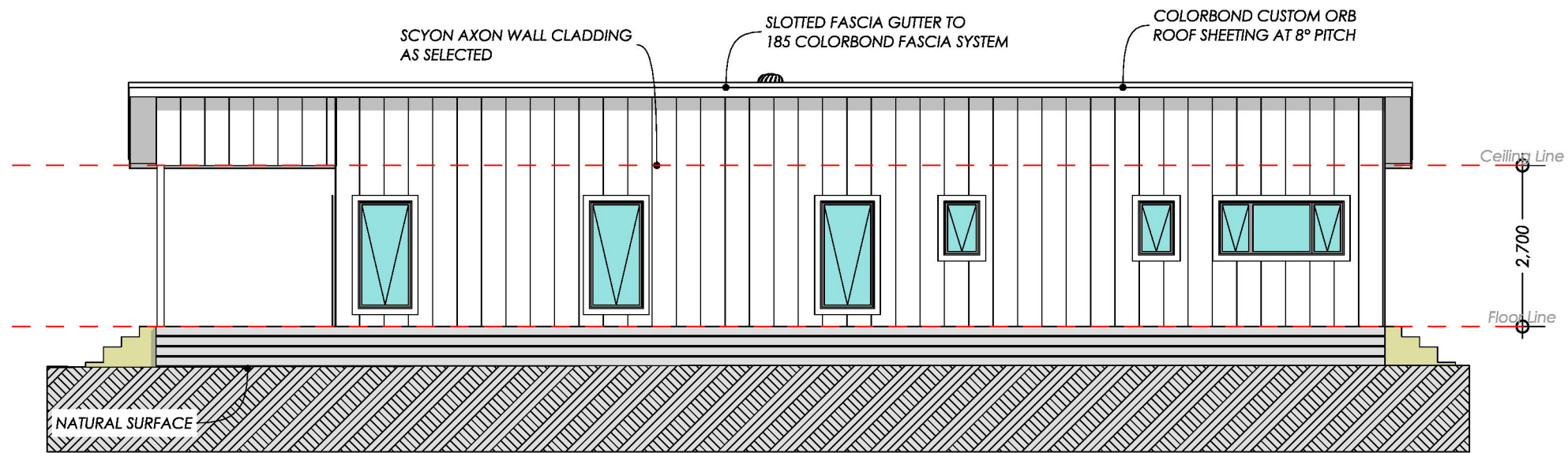
Design Matters
National
The peak body for the building design profession
Member



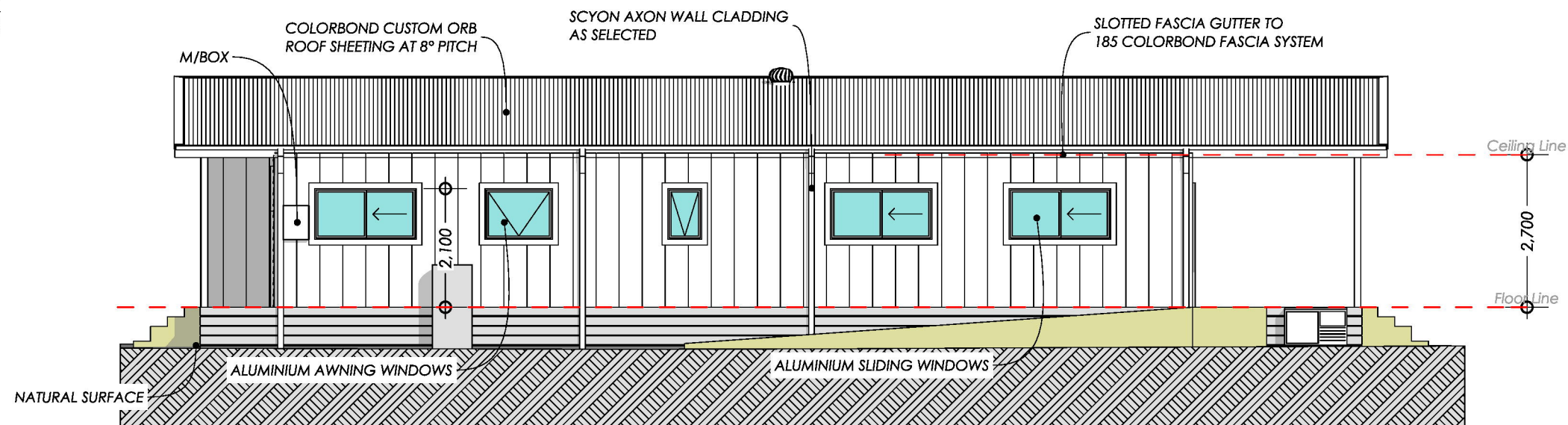
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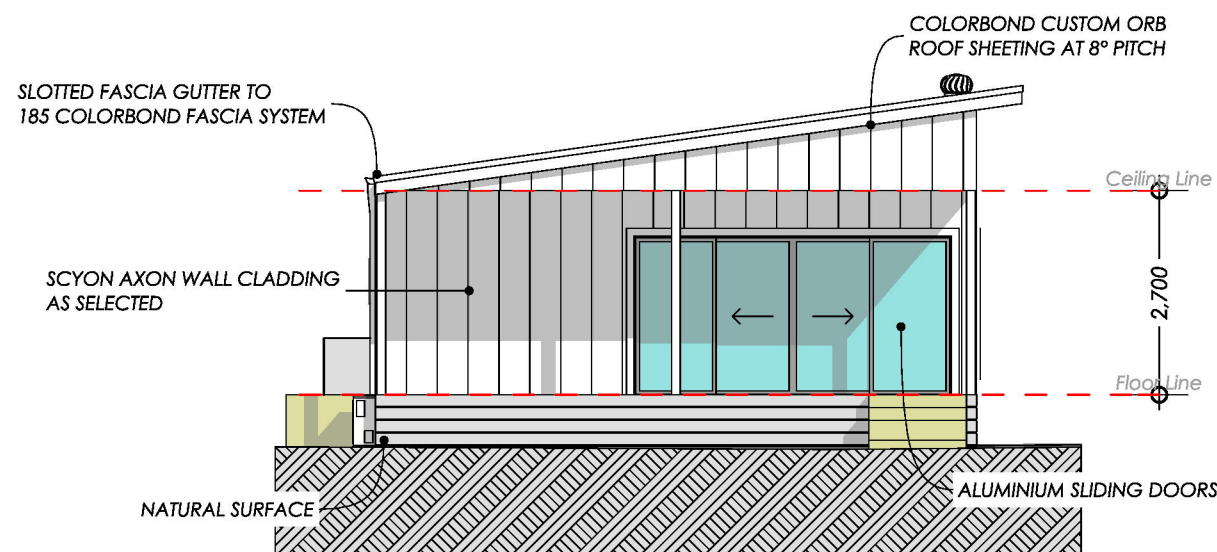
CARUBIA HOME DESIGNS		PROJECT: PROPOSED NEW RESIDENCE CLIENT: [REDACTED] No. 19 BREAM ROAD LOCH SPORT VIC 3851		DESIGNATED BUSHFIRE PRONE AREA 29 CONSTRUCTION REQUIREMENTS TO A MIN BAL 29 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS	ENERGY RATERS STAMP HERE
		REVISION NUMBER: 1 DRAWING TITLE: ELEVATIONS - SHEET 1	PROJECT NUMBER: 25008 DRAWING NUMBER: A-7		
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W WEST ELEVATION
1:100



E EAST ELEVATION
1:100



N NORTH ELEVATION
1:100

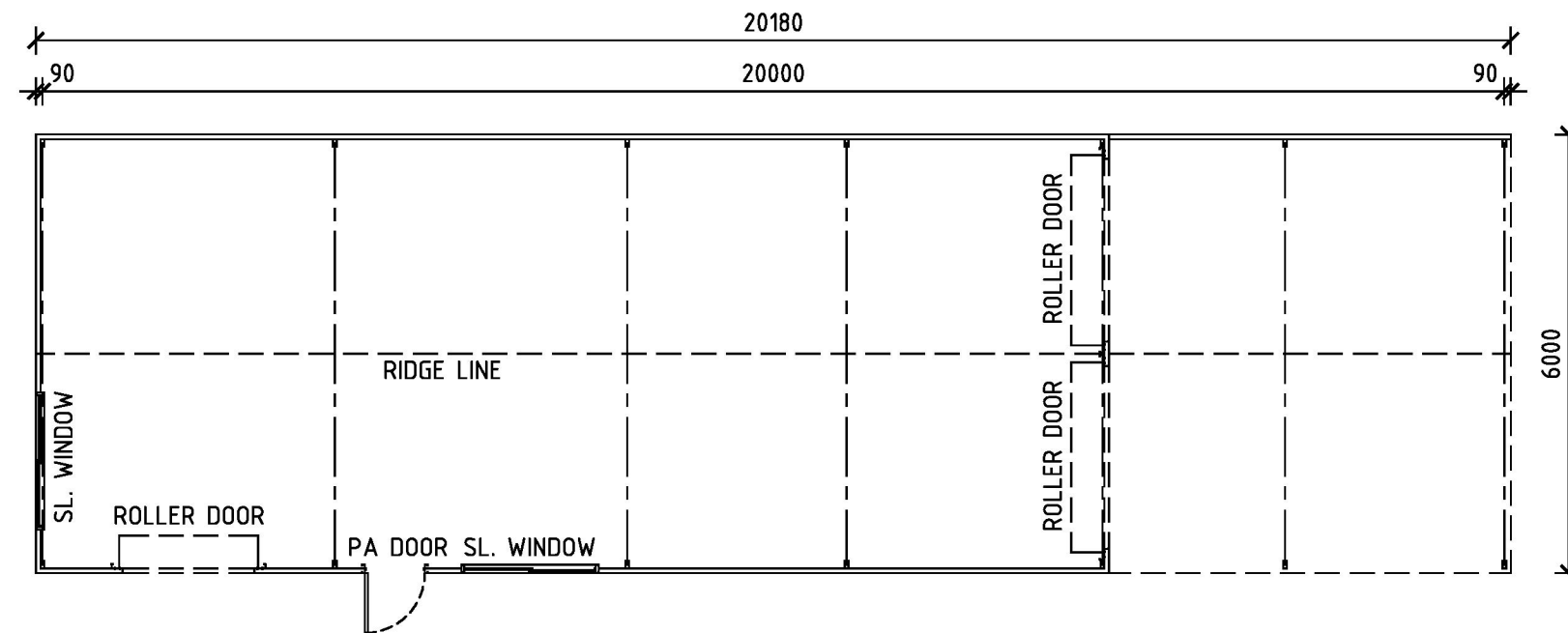
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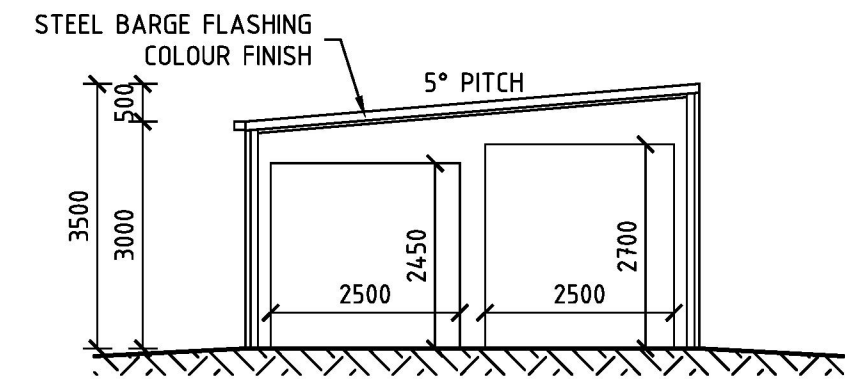
		PROJECT: PROPOSED NEW RESIDENCE CLIENT: [REDACTED] No. 19 BREAM ROAD LOCH SPORT VIC 3851	
		REVISION NUMBER: 1 DRAWING TITLE: ELEVATIONS - SHEET 2	PROJECT NUMBER: 25008 DRAWING NUMBER: A-8
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DESIGNATED BUSHFIRE PRONE AREA 29
 CONSTRUCTION REQUIREMENTS TO A MIN BAL 29 UNDER AS3959 2018 VIC CONSTRUCTION IN ACCORDANCE WITH SECTION 3 AND 5 OF AS3959-2018 VIC- DESIGN & CONSTRUCTION OF BUILDINGS IN BUSHFIRE PRONE AREAS

ENERGY RATERS STAMP HERE



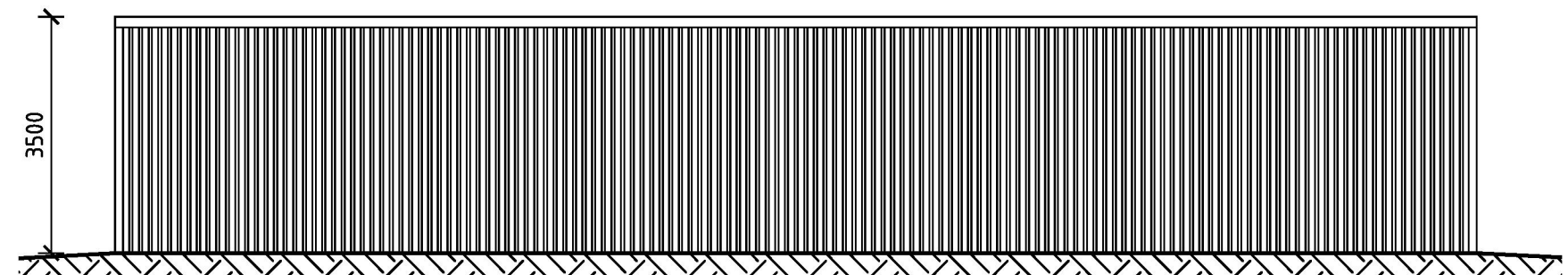
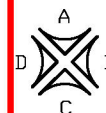
FLOOR PLAN
SCALE 1:100



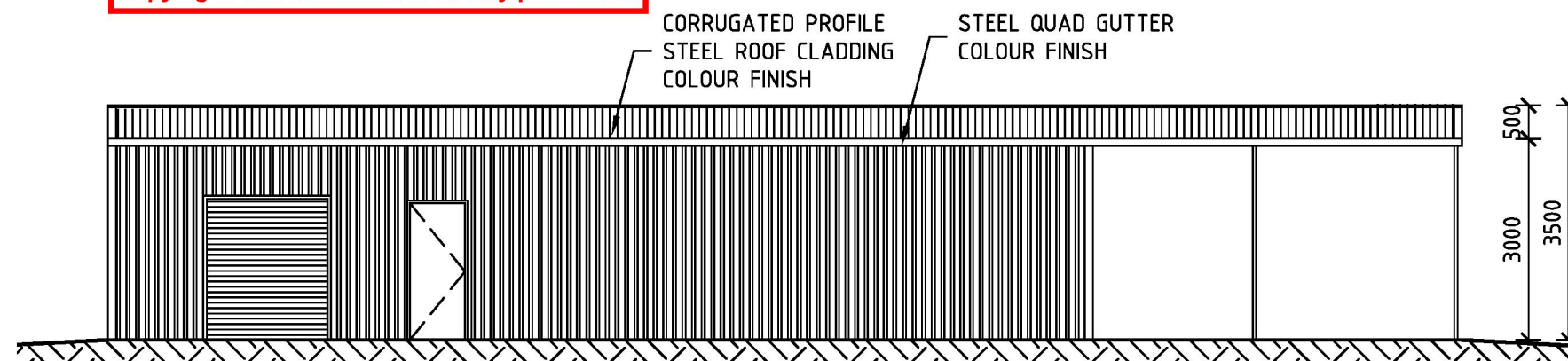
ELEVATION B
SCALE 1:100

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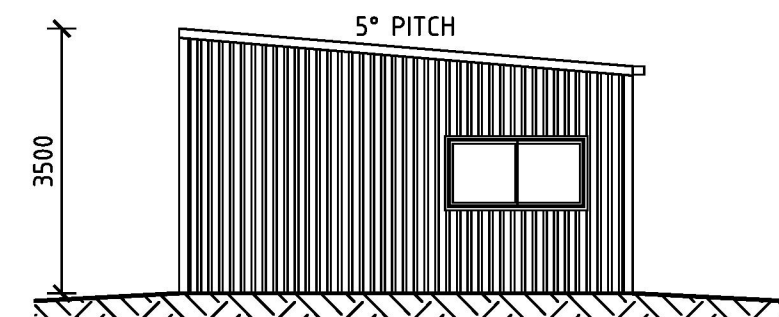
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ELEVATION A
SCALE 1:100



ELEVATION A
SCALE 1:100



ELEVATION D
SCALE 1:100



34-50 Nathan Road, Dandenong South Vic 3175
(03) 9706 7711 | enquiries@safetysteel.com.au

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CLIENT: [REDACTED]
ADDRESS: 19 Bream Rd, Loch Sport VIC 3851

TITLE: SALES DRAWINGS
SITE: 19 Bream Rd, Loch Sport VIC 3851

DRAFT BY	DESIGNED BY	CHECKED BY	DATE	SCALE
MV	N/A		25/6/25	NTS

PROJECT No	SHEET No	REVISION	
00084944	1 1	-	A3

Bushfire Management Plan V2 of 16 April, 2025. Page 2

Water Supply Requirements. The following requirements apply :

- An effective capacity of **10,000L** and be stored in an above ground water tank constructed of metal or concrete
- Have all fixed above ground water pipes and fittings required for fire-fighting purposes, made of corrosive resistant metal
- Include a separate outlet for occupant use
- Be readily identifiable from the building or appropriate identification signs to the satisfaction of the relevant fire authority
- Be located within 60 metres of the outer edge of the approved property
- The remote outlet from the water tank must be within 4 metres of the accessway and unobstructed
- Incorporate a separate ball or gate valve (BSP 65mm) and coupling (64mm CFA 3 thread per inch male fitting)
- Any pipe and fittings must be a minimum of 65mm (excluding the CFA coupling)

The CFA remote outlet must be :

- Easily accessible by a fire-fighter in the event of a bushfire
- Clear of all vegetation for a distance of 1.5 metres
- Setback from flammable objects (including timber fences and timber retaining walls) for a minimum distance of 1.5 metres
- Located no more than 60 metres from the dwelling in an area of defensible space
- Oriented horizontally
- The internal diameter of the CFA outlet of the tank to the pipeline must be greater than the internal diameter of the pipeline between the tank and the fire authority outlet
- The centreline of the CFA outlet must be a minimum of 300mm and a maximum of 600mm in height above the finished ground level and located below the outlet of the tank
- The riser for the CFA outlet must be supported by a galvanized steel post at least 50mm x 50mm or equivalent that is concreted in the ground to a depth of at least 450mm
- A 65mm British Standard Pipe (BSP) ball or gate valve must be provided at the CFA outlet to control the flow of water to the CFA coupling. Any other valves between the CFA outlet and the tank must be locked in the open position

The CFA outlet must be easily identifiable from the entrance to the property or signage must be provided that meets the following requirements :

- Has an arrow pointing to the location of the fire authority outlet
- Has dimensions of not less than 310mm high and 400mm long
- Is red in colour, with a blue reflective marker attached
- Is labelled with "W" that is not less than 15cm high and 3cm thick

The CFA outlet must include a fade resistant or engraved sign that :

- Is to be fixed to the post supporting the fire authority outlet riser
- Has a minimum height of at least 1.5 metres from the ground surface level
- Includes the words "FIRE WATER TANK OUTLET" in lettering that is a minimum of 50mm in height and written in colour contrasting with that of the background
- A blue reflective disc at least 50mm in diameter must be attached to the post holding the sign. The blue reflective disk must be located immediately below the sign
- All below-ground water pipes must be installed to provide at least the following cover below the surface : 300mm for pipes subject to vehicle traffic; 75mm for pipes below dwellings or concrete slabs; and 225mm for all other locations