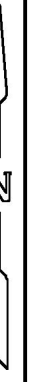


PLAN OF PROPOSED SUBDIVISION



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EASEMENTS: E-1 DRAINAGE & SEWERAGE EASEMENT



SURVEYORS REF
2400672

SCALE
1 : 400



ORIGINAL SHEET
SIZE: A3

SHEET 1 OF 2

VERSION 1, DATE: 16/04/2024

PHOTOGRAPH OF THE EXISTING DWELLING AND SHEDS IN THE NORTHERN PORTION OF THE SUBJECT SITE



PHOTOGRAPH OF THE SOUTHERN HALF OF THE DRIVEWAY, LOOKING SOUTH



AERIAL PHOTOGRAPH OF YARRAM TAKEN IN 1947 WITH THE SUBJECT SITE OUTLINED YELLOW



AERIAL PHOTOGRAPH OF THE SUBJECT SITE TAKEN ON 1/1/2000 WITH THE SUBJECT SITE OUTLINED YELLOW



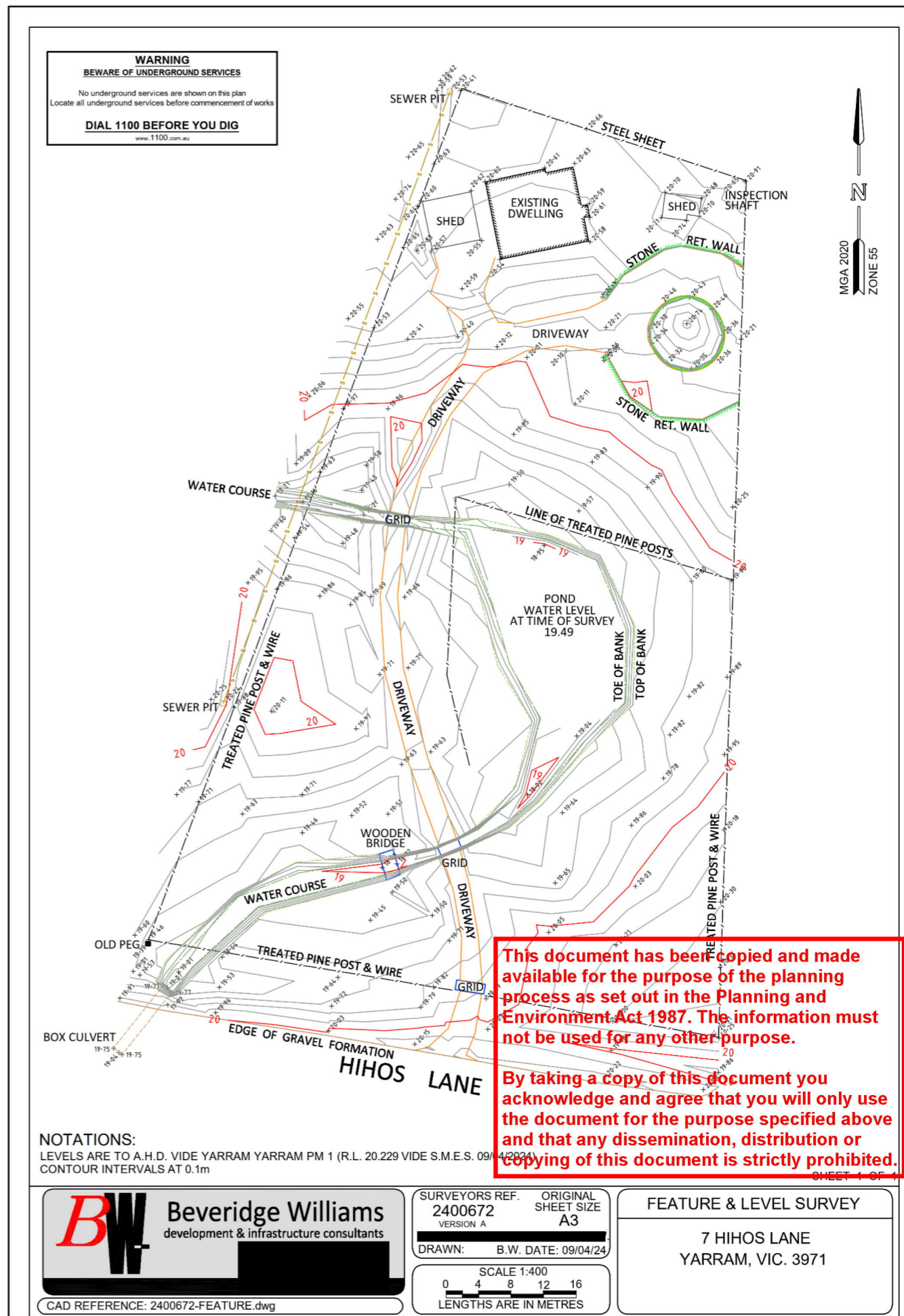
AERIAL PHOTOGRAPH OF THE SUBJECT SITE TAKEN ON 14/1/2008 WITH THE SUBJECT SITE OUTLINED YELLOW



Existing Vegetation:

As can be seen from the photos taken in 1947 and on 1/1/2000 & 14/1/2008, the vegetation on the site, which includes a large hedge along the southern perimeter was planted for aesthetic landscaping purposes when the land was developed. Hence, it is not considered significant vegetation under the provisions of **Clause 52.17**.

FEATURE & LEVEL SURVEY OF THE SUBJECT SITE



NOTATIONS:
LEVELS ARE TO A.H.D. VIDE YARRAM YARRAM PM 1 (R.L. 20.229 VIDE S.M.E.S. 09/42024)
CONTOUR INTERVALS AT 0.1m

BW Beveridge Williams
development & infrastructure consultants

SURVEYORS REF. 2400672 ORIGINAL SHEET SIZE A3
VERSION A
DRAWN: B.W. DATE: 09/04/24
SCALE 1:400
0 4 8 12 16
LENGTHS ARE IN METRES

FEATURE & LEVEL SURVEY
7 HIHOS LANE
YARRAM, VIC. 3971

The subject site abuts:

- 399 Commercial Road along its entire 36.5 metre long north boundary. This property has area of approximately 2,820m² formed in an irregular shape. It contains a single-storey, brick-walled dwelling in the eastern portion with a large, attached outbuilding on its southeast side. The dwelling is set back approximately 45 metres from its 12.5 metre wide Commercial Road frontage. The southwest corner of the outbuilding is located within 1m of the common boundary with the subject site. The property is mostly covered in lawn and has access via a gravel crossover to Commercial Road that leads to a driveway running along the northern perimeter of the land. This driveway terminates in a circular turn-around area on the north side of the outbuilding. It is traversed by portion of the same drainage line that runs through the subject site. The front and side boundaries are fenced with a timber post & rail and timber post and wire treatments;
- 9 Hihos Lane along its entire 106.09 metre long east boundary. This property has area of approximately 5,960m² formed in an irregular shape. It contains a large, single-storey, 4-bedroom brick-walled dwelling in the centre with a detached outbuilding in the northwest corner and a separate bungalow in the southern portion. The dwelling is set back approximately 75 metres from its 25m wide Hihos Lane frontage and within 10m of the common boundary with the subject site. A gravel driveway provides access to the dwelling and outbuildings from a crossover to Hihos Lane that is located at the western end of the south boundary road frontage. The property has landscaping trees around the dwelling & driveway and a hedge along the southern perimeter that appears to have been a continuation of the hedge growing along the southern perimeter of the subject site. The front and side boundaries are fenced with a timber post & rail and timber post and wire treatments;
- Hihos Lane road reserve along its entire 71 metre long south boundary. This road reserve has a width of 20 metres where it abuts the subject site. It accommodates a two-way, gravel roadway that has grassed shoulders and rural-style drainage down both sides. There are mature & semi-mature street trees growing in the verge on the south side, but no footpaths. Hihos Lane terminates in a T-intersection with the South Gippsland Highway (Commercial Road) 70 metres to the east of the subject site; and,
- 405 Commercial Road along its entire 112.18 metre long west boundary. This property has area of approximately 6,920m² formed in an irregular shape. It is vacant and covered with pasture grass. The main discernible feature is a drainage line that is the continuation of the one running through the subject site and on into 399 Commercial Road. A planning permit has recently been issued to allow the subdivision of this property into 5 residential lots, as can be seen in the image opposite. These lots will have average area of approximately 1,384m². The east boundary, which is common with the subject site and the north boundary are fenced with a timber post and rail fence. The south and west boundaries are unfenced. Access is gained via two crossovers to Commercial Road and two crossovers to Hihos Lane.



Crossover to 399 Commercial Road

Crossover to 9 Hihos Lane

Looking west along Hihos Lane

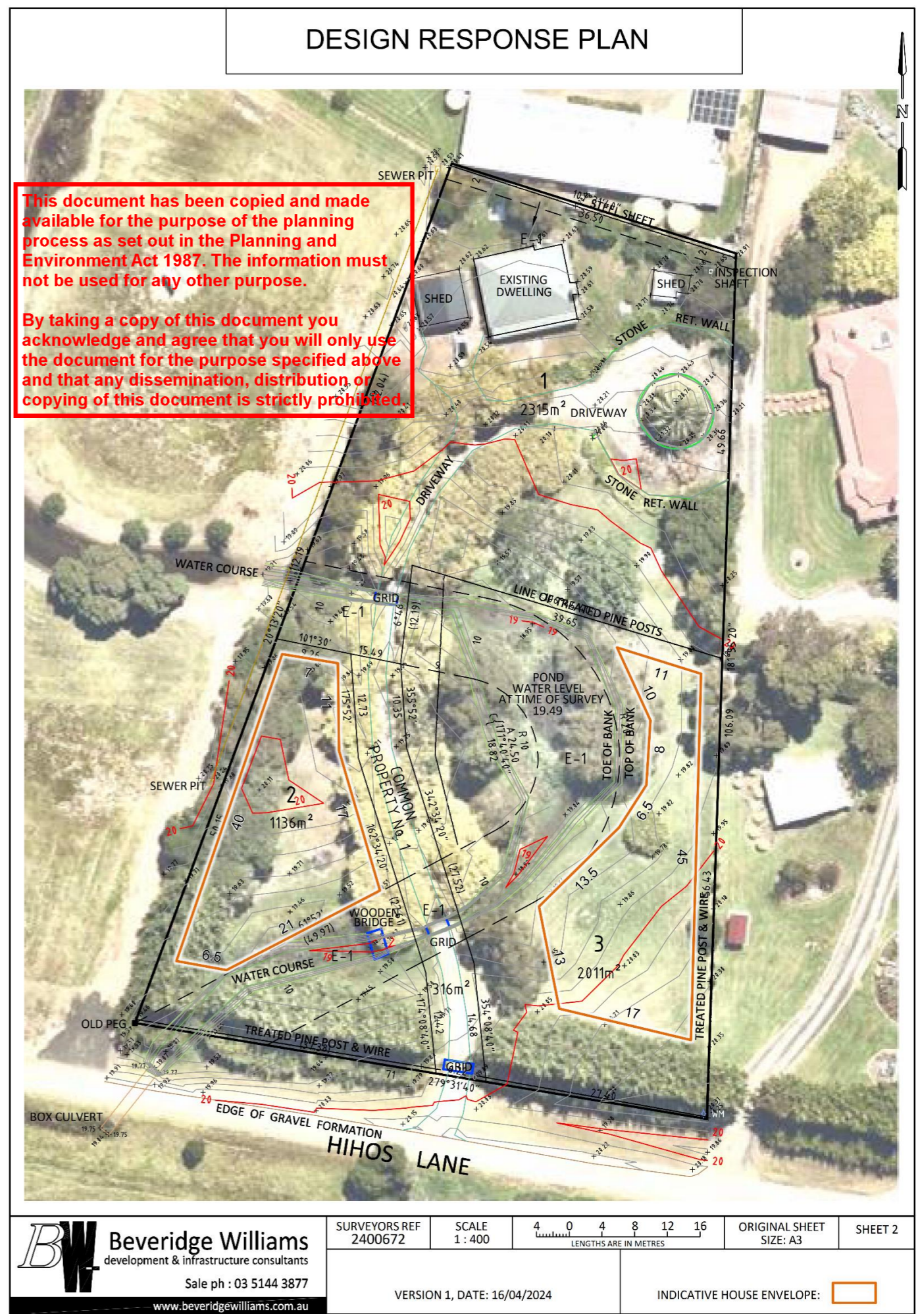
Looking east along Hihos Lane

405 Commercial Road from Hihos Lane – looking north along the east boundary



ASSESSMENT AGAINST CLAUSE 56 (RESCODE)

Clause	Is the standard met?
56.01-1	A subdivision site and context description is provided on the previous pages.
56.01-2	The design response plan shown opposite has been derived from: <ul style="list-style-type: none"> • The support for sustainable growth within Yarram's fully serviced township boundaries through both the Gippsland Regional Growth Plan and the Yarram Strategy Plan; • The proximity of the subject site to important community and commercial services; • The pattern of development along Hihos Lane and Commercial Road, which features lots with frontage widths of 12.5 metres to 25 metres; • The need to fit adequately large new dwellings within proposed Lots 2 & 3 without necessitating removal of the existing hedge on their southern perimeters; and, • The need to protect the sewerage and drainage assets within easements running through proposed Lots 2 & 3.
56.03-5	Yes. The proposed lots will have similar street frontages and areas to the lots being created as part of the subdivision of 405 Commercial Road. The proposed layout can also comfortably accommodate new dwellings that will be in keeping with the character of the neighbourhood, as shown opposite.
56.04-1	Yes, the proposed layout provides lots with area of 2,315m ² , 1,136m ² and 2,011m ² . It is possible that proposed Lot 1 could be further developed with a medium density development. This is unlikely though, due to the length of the access. In any event, the proposed density of 1,820m ² per lot is appropriate given the site's distance from Yarram's Central Activity District, i.e. 900m, and the gravel treatment within Hihos Lane.
56.04-2	Yes. Proposed Lots 2 & 3 can accommodate new dwellings that comply with the requirements of Clause 54 , as shown through the inclusion of envelopes well exceeding 10m x 15m on each parcel – see opposite. Given the extent of screening vegetation and the fact that both proposed Lots 2 & 3 will sit at the front of the developed site, it is inappropriate to formally impose a building envelope upon them.
56.04-3	Yes. All proposed lots will have a lengthwise orientation of less than 10° east of north.
56.04-4	Yes. All three proposed lots front onto Hihos Lane and have adequate frontage to gain access from it.
56.04-5	An area of common property will cover the southern portion of the existing driveway to allow proposed Lots 2 & 3 to use the existing driveway and crossover, whilst also gaining access to full extent of the rear portions of their land. Management of this area will be set out in an owner's corporation agreement.
56.05-1	Yes. The proposed development doesn't create any public spaces.
56.06-2 to 5 & 56.06-7	Not applicable. The proposed development does not include any roads.
56.06-8	Yes. Each proposed lot will gain access to Hihos Lane via the existing crossover.
56.07-1 to 4	Yes, as shown previously, reticulated sewer & water and drainage are available. Yarram doesn't have recycled water.
56.08-1	Yes. The minimal site works necessary to bring services to each proposed lot can be easily managed to avoid off-site amenity impacts.
56.09-1	Yes. Opportunities for shared trenching can be explored at development stage.
56.09-2	Yes. Reticulated electricity, water, sewerage & telecommunications are available.
56.09-3	Yes. As shown previously, a fire hydrant is located 30m to the east of the subject site.



<p>Beveridge Williams development & infrastructure consultants Sale ph : 03 5144 3877 www.beveridgewilliams.com.au</p>	SURVEYORS REF 2400672	SCALE 1 : 400	<p>LENGTHS ARE IN METRES</p>	ORIGINAL SHEET SIZE: A3	SHEET 2
	VERSION 1, DATE: 16/04/2024			INDICATIVE HOUSE ENVELOPE:	