


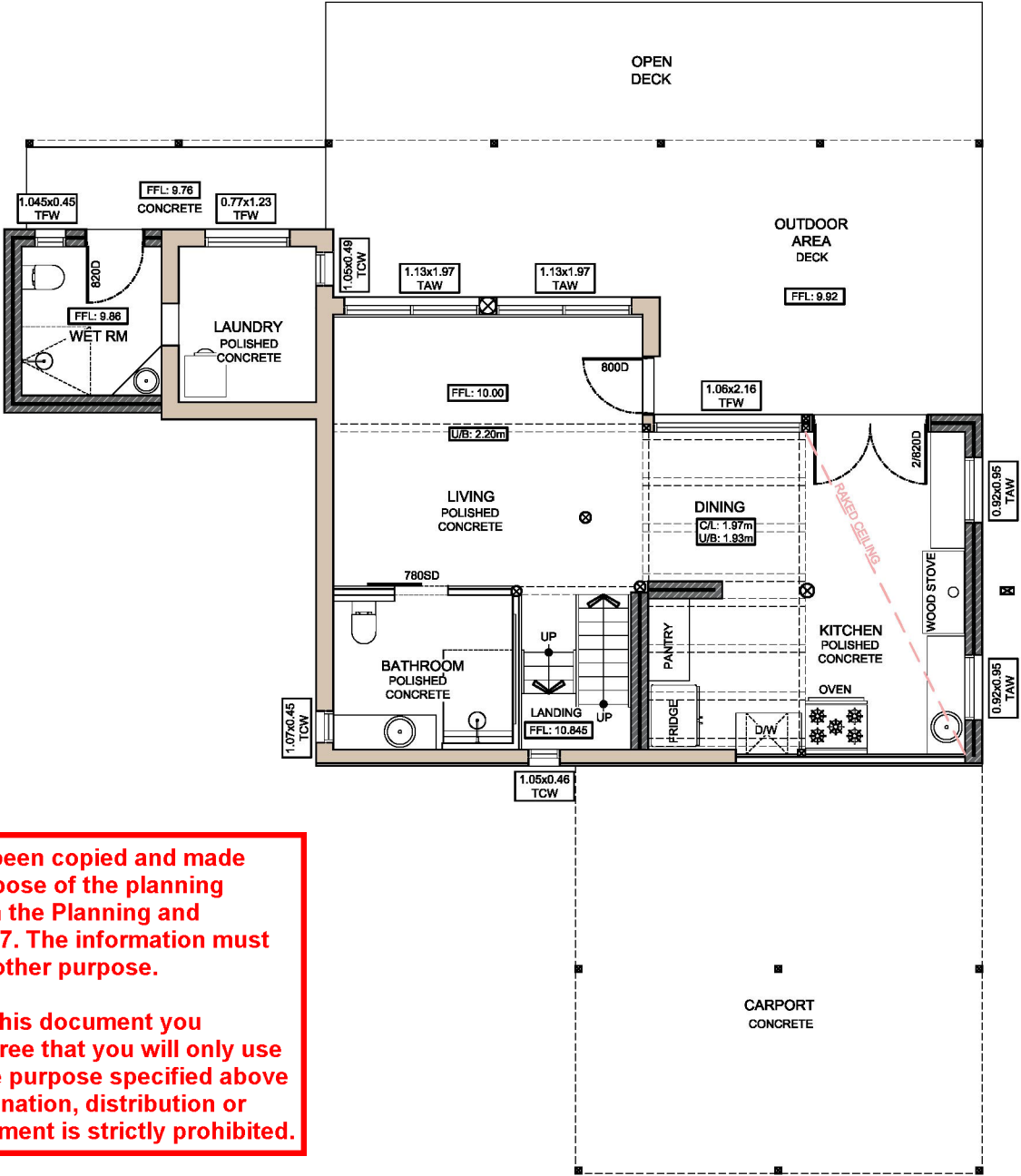
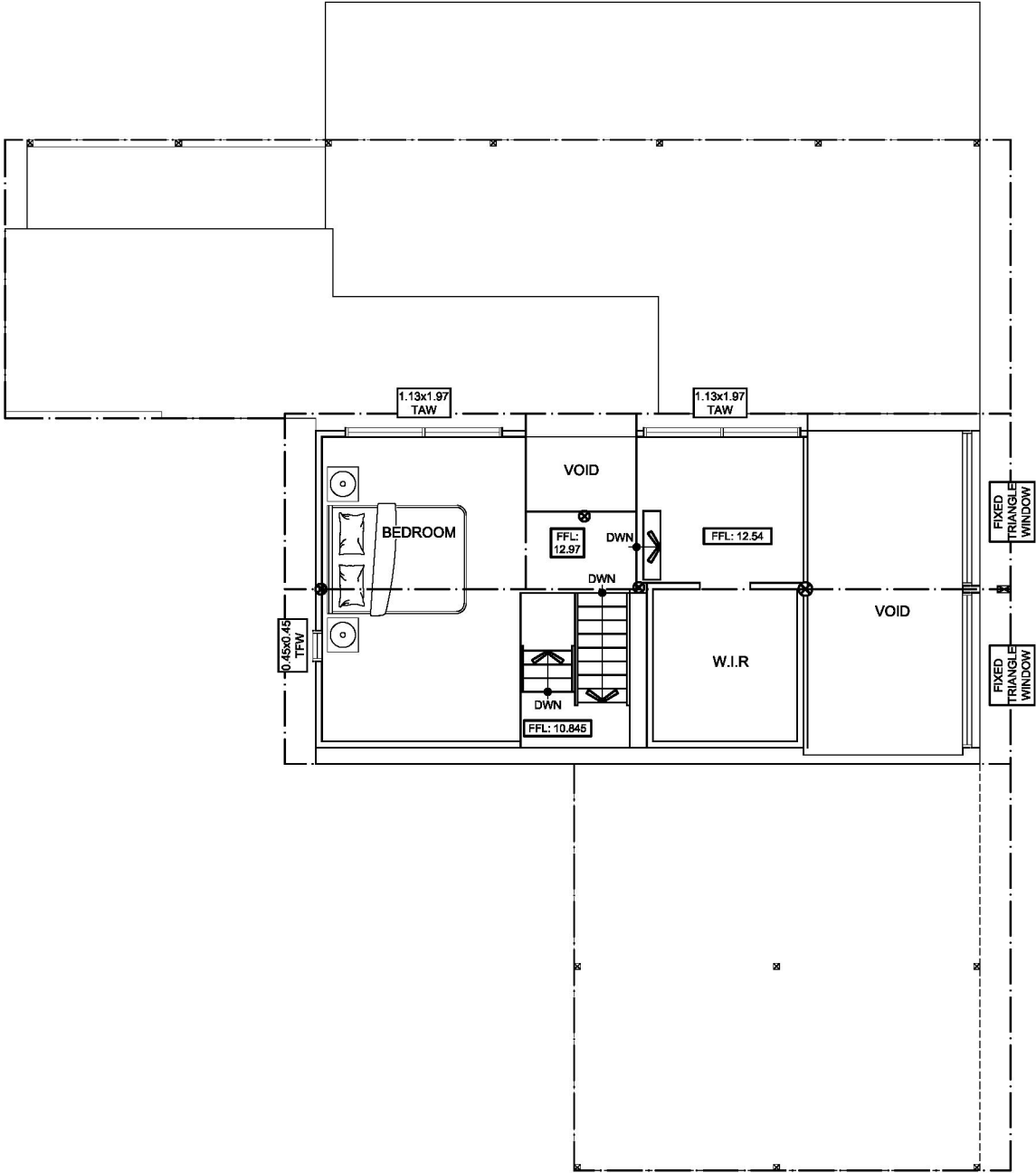


AREA ANALYSIS	
GROUND FLOOR	70.50m²
FIRST FLOOR	26.90m²
OUTDOOR AREA	35.50m²
OPEN DECK	19.20m²
CARPORT	35.50m²
TOTAL LIVING AREA	
70.50m²	
TOTAL AREA	
167.60m²	
TOTAL SQ	
18.04sq	
TYPICAL CONSTRUCTION	
FRAME:	TIMBER POSTS, DOUBLE BRICK & MUD BRICK
CLADDING:	COLORBOND STEEL CLADDING
EAVES:	450mm U.N.O
DOORS:	2040x820 U.N.O
LEGEND	
	250mm NOM. DOUBLE BRICK WALLS
	ASSUMED 250mm NOMINAL MUD BRICK WALLS
	160-200Ø NOMINAL TIMBER POSTS
BAL RATING	
BAL 29	
WIND RATING	
N2	



GROUND FLOOR



FIRST FLOOR

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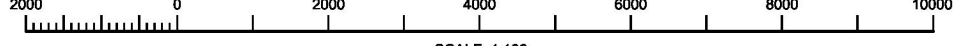
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SHEET No:	2 OF 7

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A3 SIZE SHEET	1:100	Lv5116 - 004	P1

EXISTING FLOOR PLAN

PROJECT: ILLEGAL WORKS - SECOND DWELLING
ADDRESS: 24 BOYCE LANE, BRIAGOLONG 3860

NEW HARD WIRED SMOKE DETECTORS TO BE INTERCONNECTED AND INSTALLED ON BOTH THE GROUND AND FIRST FLOORS

B
006

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EXISTING HOLE IN BRICK WALL IN SHOWER AREA TO BE FILLED IN AND SEALED.

EXISTING BOWED BRICK WALL TO BE REPAIRED WITH CARBON FIBRE REINFORCEMENT SYSTEM SUCH AS "STRONG TIE" OR ALTERNATIVELY RE-BUILT

EXISTING TIMBER BENCH TOP TO BATHROOM TO BE SEALED AND WATERPROOFED. NEW TILE SPLASH BACK TO VANITY AREA

GLASS SHOWER SCREEN TO BE INSPECTED FOR THICKNESS. ADDITIONAL STABILITY BAR MAY NEED TO BE INSTALLED, OR FRAMED TO SUIT.

NEW COMPLIANT STAIRS & HANDRAIL / BALUSTRADE RUNS: 240mm RISERS: 181.4mm NOM.

EXISTING WOOD STOVE REMOVED, NEW KITCHEN BENCH + DOUBLE SINK. EXISTING BRICK KITCHEN WALL SEALED AS SPLASH BACK


STEEL CROSS BRACING TO BE INSTALLED UNDER EXISTING SHEET ROOF OF CARPORT

NEW COMPLIANT STEPS BETWEEN LOFT STORAGE AREAS

NEW COMPLIANT STAIRS & HANDRAIL / BALUSTRADE RUNS: 240mm RISERS: 181.4mm NOM.


GROUND FLOOR

FIRST FLOOR



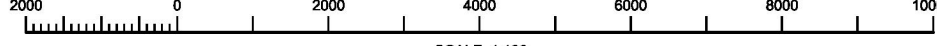
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A3 SIZE SHEET

PROPOSED FLOOR PLAN

PROJECT: ILLEGAL WORKS - SECOND DWELLING
ADDRESS: 24 BOYCE LANE, BRIAGOLONG 3860

SCALE	1:100	DRG.NO.	Lv5116 - 005	REV.	P1
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CARPORT ATTACHED TO DWELLING TO BE UPGRADED TO HAVE EXISTING RAFTERS ENCLOSED WITH FIBRE CEMENT SHEET A MINIMUM OF 6mm THICKNESS. CARPORT POSTS TO BE ENCLOSED WITH ALUMINIUM POST COVERS OR REPLACED WITH BUSHFIRE RESISTANT TIMBER OR STEEL.

ALL EXISTING OUTDOOR AREA POSTS WILL REQUIRE UPGRADE TO HAVE ENCLOSED RAFTERS LINED WITH FIBRE CEMENT SHEET A MINIMUM OF 6mm THICKNESS. CARPORT ATTACHED TO DWELLING TO BE UPGRADED TO HAVE EXISTING RAFTERS ENCLOSED WITH FIBRE CEMENT SHEET A MINIMUM OF 6mm THICKNESS. CARPORT POSTS TO BE ENCLOSED WITH ALUMINIUM POST COVERS OR REPLACED WITH BUSHFIRE RESISTANT TIMBER OR STEEL.

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EXISTING OUTDOOR AREA TO BE UPGRADED TO HAVE ENCLOSED RAFTERS LINED WITH FIBRE CEMENT SHEETING A MINIMUM OF 6mm THICKNESS

EAST ELEVATION

A
005

NORTH ELEVATION

B
005

EXISTING UN-ENCLOSED TIMBER DECKING AREA TO BE UPGRADE TO INCLUDE NEW STEEL BUSHFIRE MESH OR ENCLOSED WITH FIBRE CEMENT SHEET A MINIMUM OF 6mm THICK TO COMPLY WITH BAL 29 RATING

NOTE: EXISTING WINDOWS AND DOORS TO BE CONFIRMED TO BE BUSHFIRE RESISTANT TIMBER, OR ALTERNATIVELY INSTALLED WITH BUSHFIRE SHUTTERS. OPENABLE PORTIONS OF WINDOWS TO HAVE STEEL MESH INSTALLED, GLAZING TO WINDOWS BE TOUGHENED GLASS A MINIMUM OF 4mm THICKNESS, AND TO DOORS A MINIMUM OF 6mm THICKNESS.

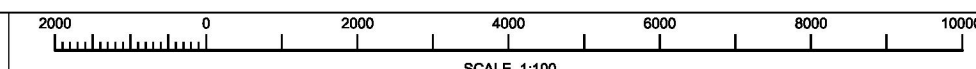
WEST ELEVATION

C
005

SOUTH ELEVATION

D
005

DOUBLE BRICK WALLS RECYCLED BRICK AS SHOWN:



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ELEVATIONS

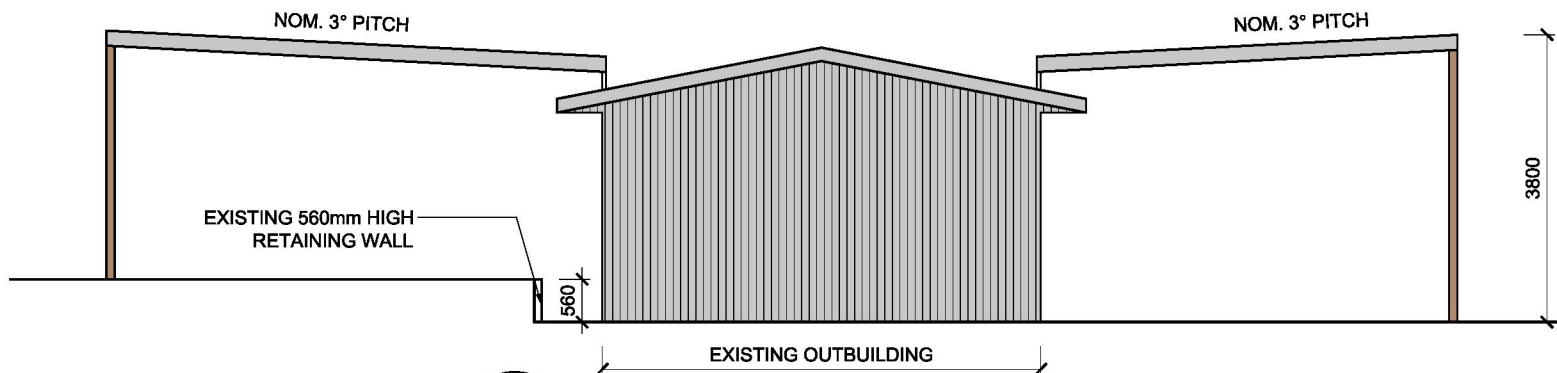
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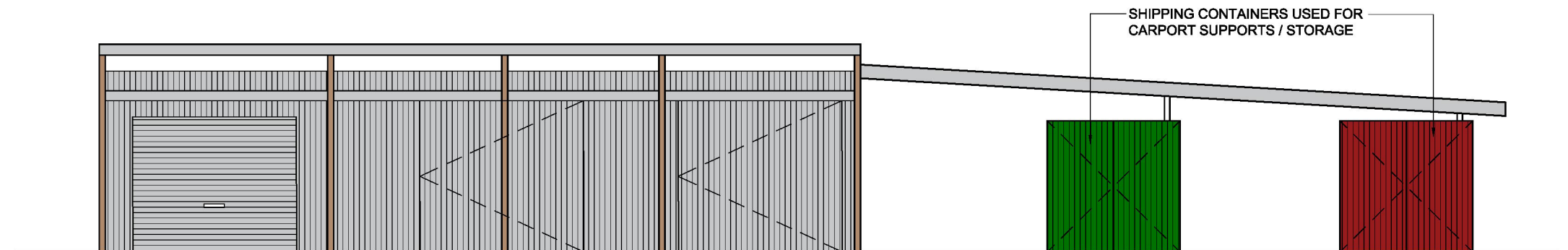


EAST ELEVATION

A
007

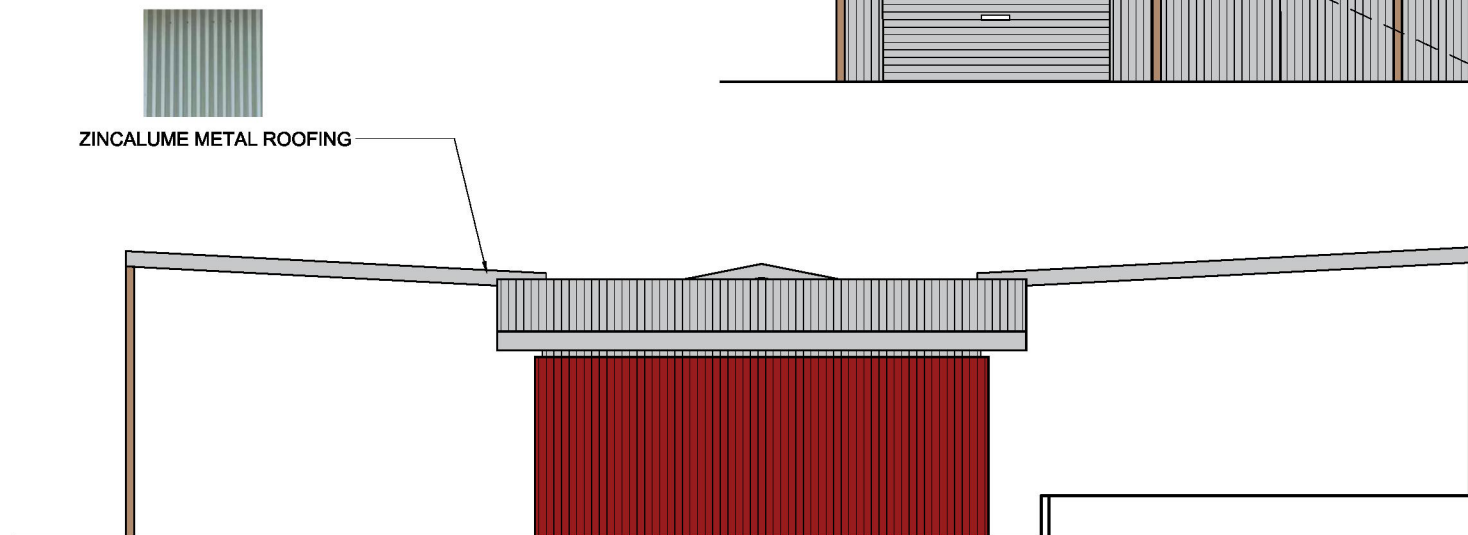


SITE PHOTOS OF NEW CARPORTS ATTACHED TO EXISTING OUTBUILDING



NORTH ELEVATION

B
007

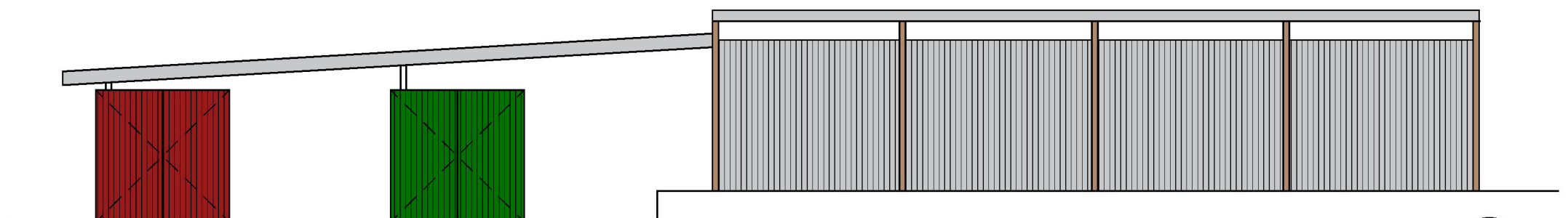


WEST ELEVATION

C
007

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SOUTH ELEVATION

D
007

FOR PLANNING

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SHED ELEVATIONS

PROJECT: ILLEGAL WORKS - SECOND DWELLING
ADDRESS: 24 BOYCE LANE, BRIAGOLONG 3860

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A3 SIZE SHEET

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