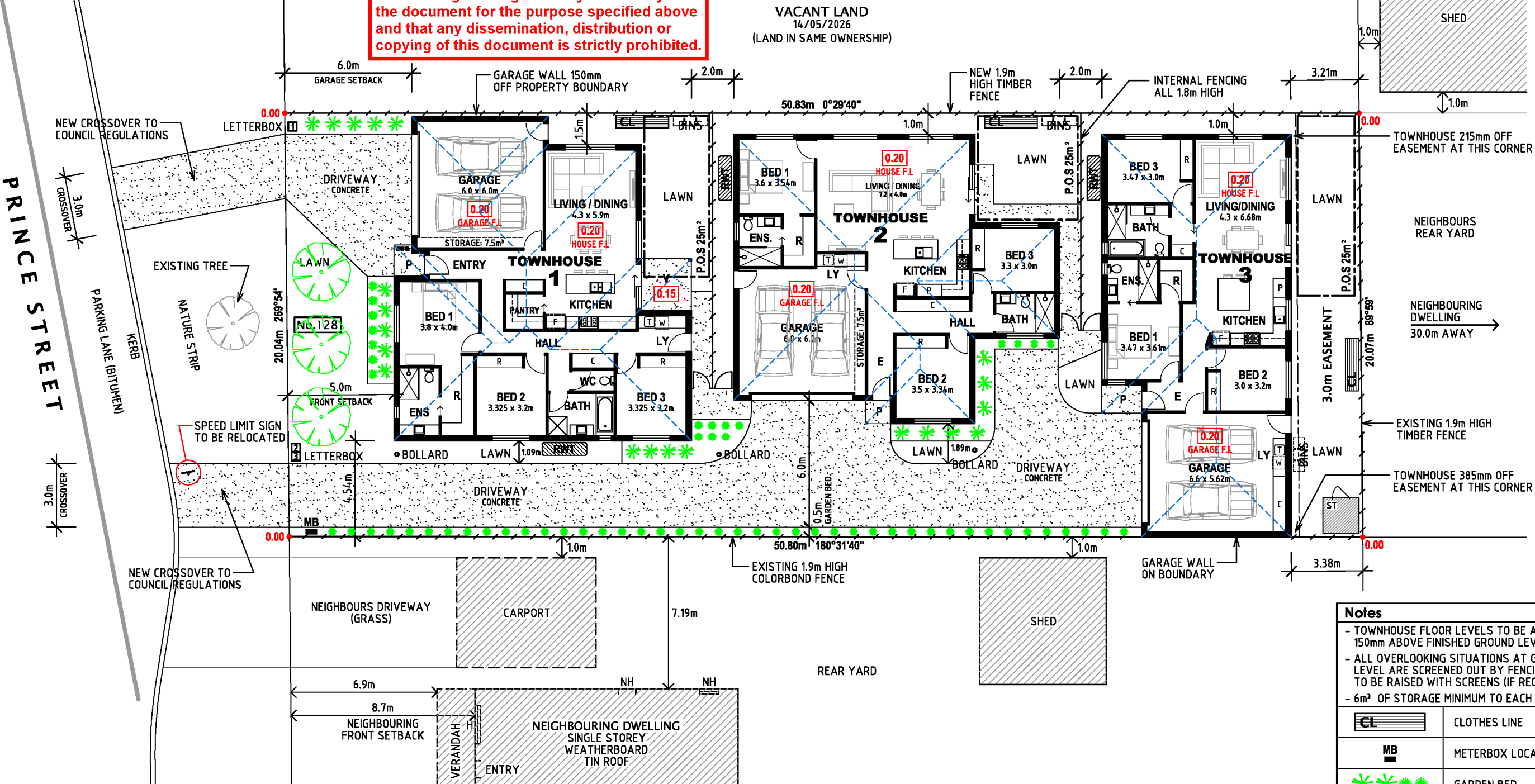


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design response

1 : 200



Site Area 1019.9m²

Site Coverage Objective	
MAX. ALLOWED	662.9m ² - 65%
ACHIEVED	519.8m ² - 51.0%

Permiability Objective	
MIN. ALLOWED	203.9m ² - 20%
ACHIEVED	270.0m ² - 26.4%

Areas	Townhouse 1		Townhouse 2		Townhouse 3	
	m ²	sq	m ²	sq	m ²	sq
LIVING	14.19	15.23	129.6	13.91	115.6	12.41
GARAGE	39.3	4.22	40.6	4.36	40.6	4.36
PORCHES	7.7	0.83	1.3	0.14	2.5	0.27
TOTAL	188.9	20.38	171.5	18.41	158.7	17.04

Notes

- TOWNHOUSE FLOOR LEVELS TO BE A MINIMUM 150mm ABOVE FINISHED GROUND LEVEL
- ALL OVERLOOKING SITUATIONS AT GROUND LEVEL ARE SCREENED OUT BY FENCING. FENCES TO BE RAISED WITH SCREENS (IF REQUIRED).
- 6m² OF STORAGE MINIMUM TO EACH TOWNHOUSE

CL	CLOTHES LINE
MB	METERBOX LOCATION
***	GARDEN BED
L A W N	GRASS / LAWN
	CONCRETE PAVING
P.O.S	SECLUDED PRIVATE OPEN SPACE (25m ² MIN. SHOWN)
RWT	RETENTION WATER TANK PER TOWNHOUSE

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DP - AD 2

project
3 x SINGLE STOREY TOWNHOUSES

address
128 PRINCE STREET
ROSEDALE

client
JOS BOWMAN

date 05.08.25 scale 1 : 200 job no. 202520 dwg no. 02

GARDEN BEDS

MULCH IS TO BE SUPPLIED TO ALL GARDEN BEDS AND IS TO BE AN ORGANIC TYPE LAID TO A MINIMUM DEPTH OF 75mm, CONSISTING OF FINE DARK COLOURED CHIPPED OR SHREDDED PINE BARK. MUCH SHALL BE FREE OF DAMAGING MATTER SUCH AS SOIL, WEEDS AND STICKS. ALL MUCH IS TO BE SLOPED TOWARDS PLANT STEMS BUT SHALL BE KEPT BACK 100mm FROM THE STEMS OF ALL PLANTS TO PREVENT ROT.

GRAVEL PATH

A GRAVEL PATH IS TO BE INSTALLED WHERE SHOWN COMPRISING OF A 50mm LAYER OF GRAVEL (TYNONG TOPPINGS OR SIMILAR) OVER A BASECOURSE OF 75mm DEEP GENTLY COMPACTED FINE CRUSHED ROCK. EACH LAYER, INCLUDING THE SUBGRADE IS TO BE APPROPRIATELY COMPACTED.

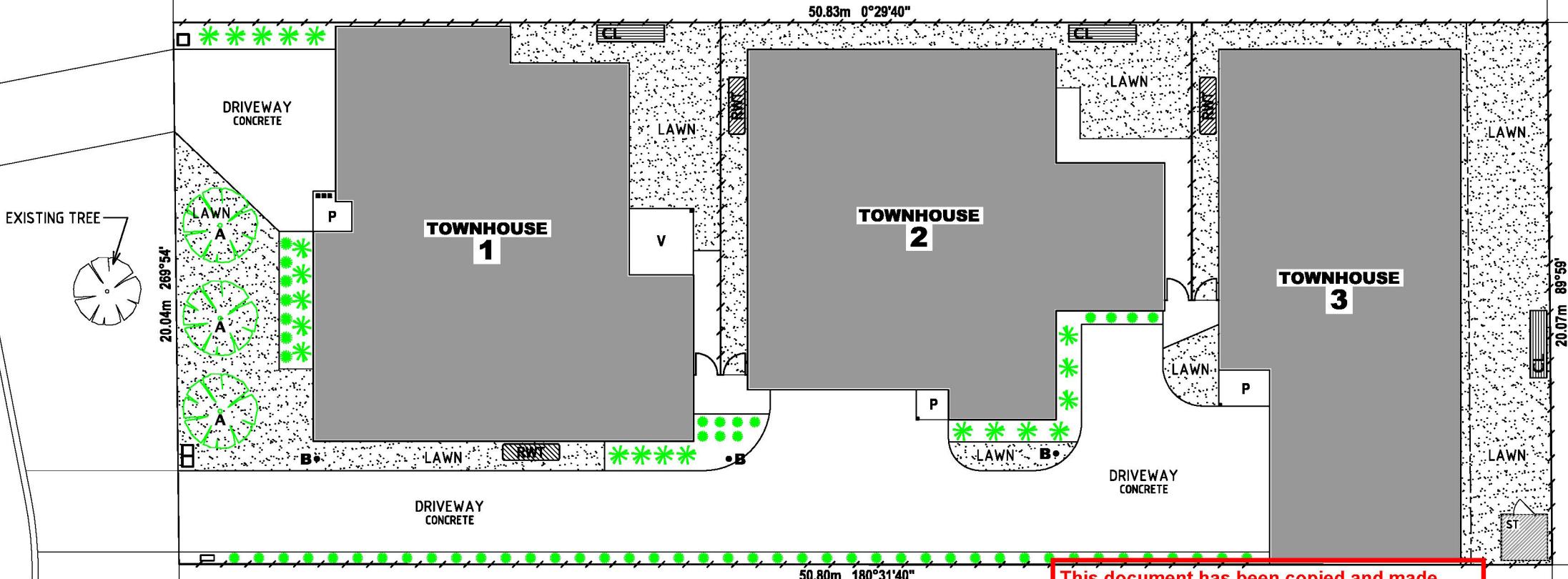
GENERAL NOTES

1. ALL PLANT SPECIES, POT SIZES, QUANTITIES & PLANT SIZES ARE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION
2. ALL MATURE HEIGHTS, LOCATIONS AND CULTURE NOTES ARE INDICATIVE ONLY. PLANT PLACEMENT TO BE CONFIRMED ON SITE WITH LANDSCAPER AND/OR PROJECT MANAGER.
3. ALL PLANTS TO BE INSTALLED WITH MULCH AROUND ROOT ZONE IMMEDIATELY.
4. PLANTS TO BE THOROUGHLY WATERED IN DIRECTLY TO ROOTBALL AND REGULARLY DEEP WATERED DURING ESTABLISHMENT PERIOD.

INTERNAL FENCING

REAR YARDS: 1.8m HIGH TIMBER FENCE
--- INTERNAL FENCING

PRINCE STREET



LEGEND

- B• LIGHT BOLLARD
- Tree Type A or B
- GARDEN BED WHITE PEBBLE FINISH TO ALL GARDEN BEDS
- LAWN

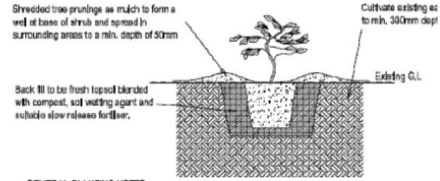
TREE CANOPY CALCULATIONS
SITE AREA: 1019.9m²
10% OF SITE AREA: 101.9m²
3 x TYPE A TREE: 48.0m²
TOTAL TREE CANOPY AREA: 48.0m²

TREE			
NAME	MATURE SIZE	No.	
MAGNOLIA LITTLE GEM (MAGNOLIA GRADIFLORA)	A	HEIGHT- 6.0m	3
SHRUBS			
NAME	MATURE SIZE	No.	
NANDINA MOON BAY	1.0m	21	
PITTOSPORUM GOLF BALL	0.5m	60	

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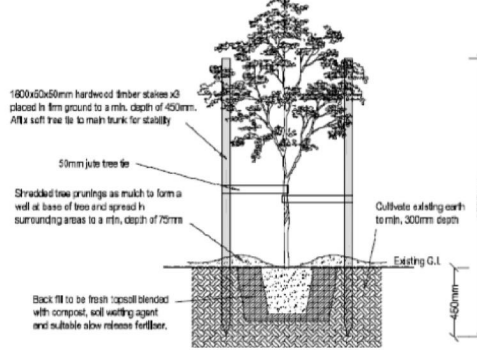
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SHRUB PLANTING DETAIL



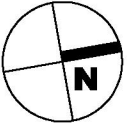
- GENERAL PLANTING NOTES:
1. Existing soil to be cultivated to min. depth of 300mm and all foreign materials removed prior to planting. Where necessary fresh topsoil and/or gypsum is to be imported to improve soil quality.
 2. Excavate planting hole to min. 150mm greater than rootball diameter and 50mm deeper than rootball.
 3. Rootball to be gently heaved free (depending on maturity of plant) and planted in a mound of fresh topsoil (or mulch) to match original depth of soil. Compact, suitable soil wetting agent and suitable slow release fertiliser and formed in sufficiently. Planted height to match original potted height.
 4. Stake and tie as necessary.
 5. Thoroughly water in.
 6. Make all amendments and amendments within backfill and outside mulch base.

ADVANCED TREE PLANTING DETAIL



landscape plan

1 : 200



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ROSEDALE

client

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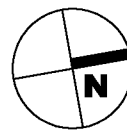
job no.
202520

dwg no.
03

PRINCE STREET

overshadowing plan

1 : 200



SOLAR
STANDARD BE-
ROOFTOP SOLAR

AREA OF POTENTIAL SOLAR PANELS
26m² AREA PLUS SHOWN FOR EACH TOWNHOUSE
ALL PANELS FACING EITHER NORTH, EAST or WEST

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scale
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job no.
202520

dwg no.
04

OVERSHADOWING:
9am, 22 SEPTEMBER

VACANT LAND
14/05/2026
(LAND IN SAME OWNERSHIP)

50.83m 0°29'40"

TOWNHOUSE 1

TOWNHOUSE 2

TOWNHOUSE 3

SHED

NEIGHBOURS
REAR YARD

NEIGHBOURING
DWELLING
30.0m AWAY

OVERSHADOWING: 3pm, 22 SEPTEMBER

50.80m 180°31'40"

CARPORT

SHED

OVERSHADOWING:
3pm, 22 SEPTEMBER

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DATE - 15/06/2026

OVERSHADOWING PLAN

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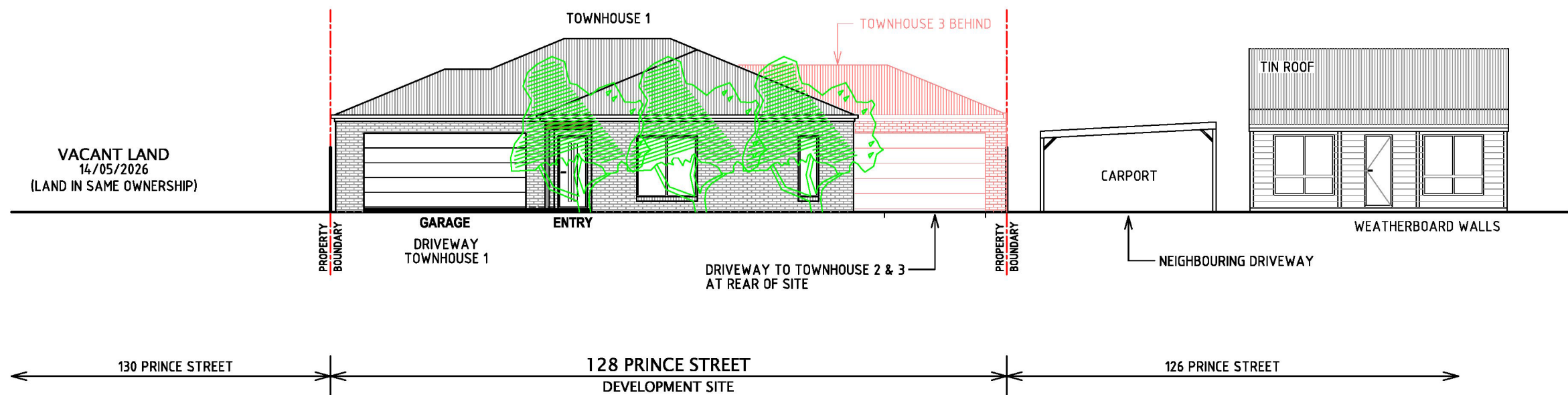
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130 PRINCE STREET
(NEIGHBOURING VACANT LAND)

128 PRINCE STREET

126 PRINCE STREET

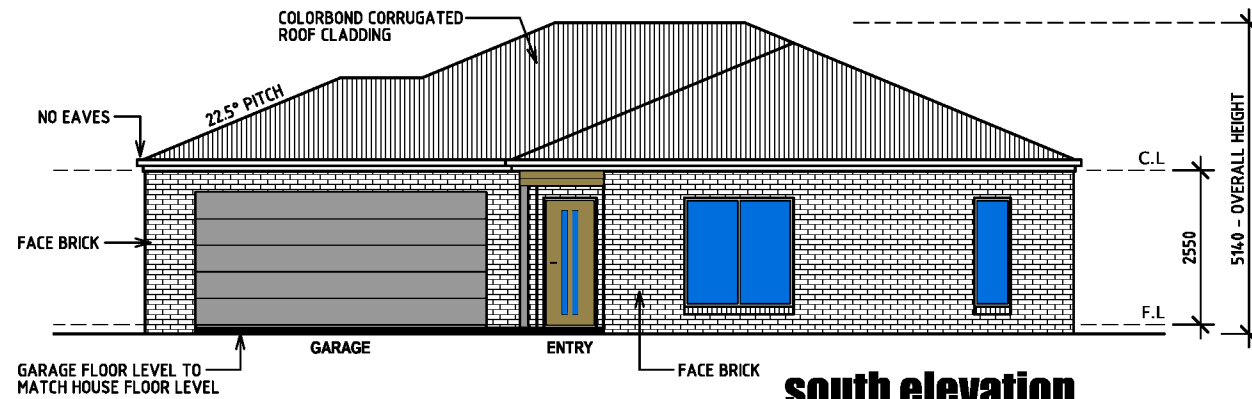


prince street elevation

1 : 150

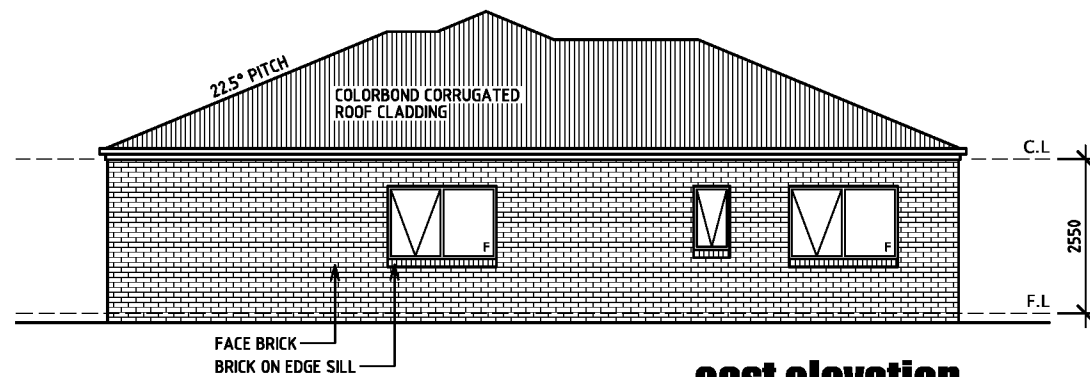
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TOWNHOUSE 1



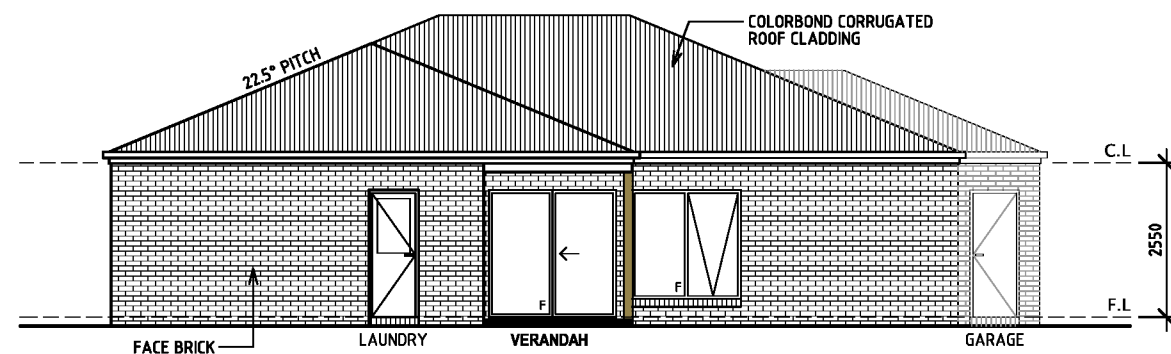
south elevation

1 : 100



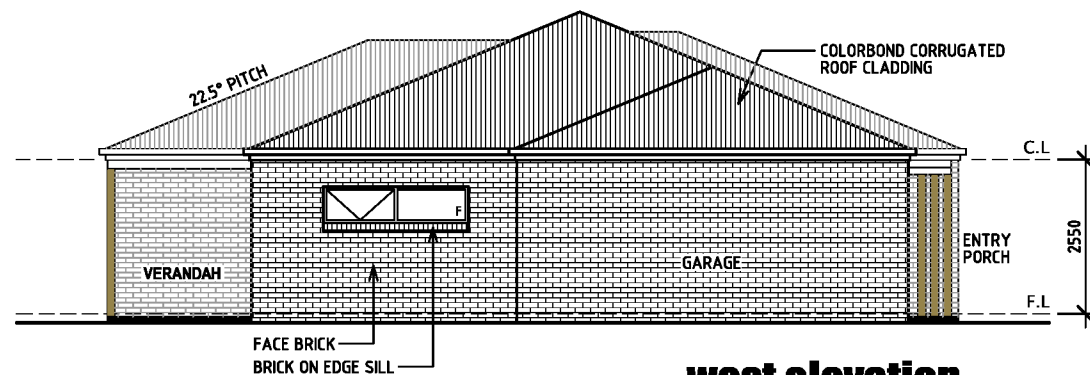
east elevation

1 : 125



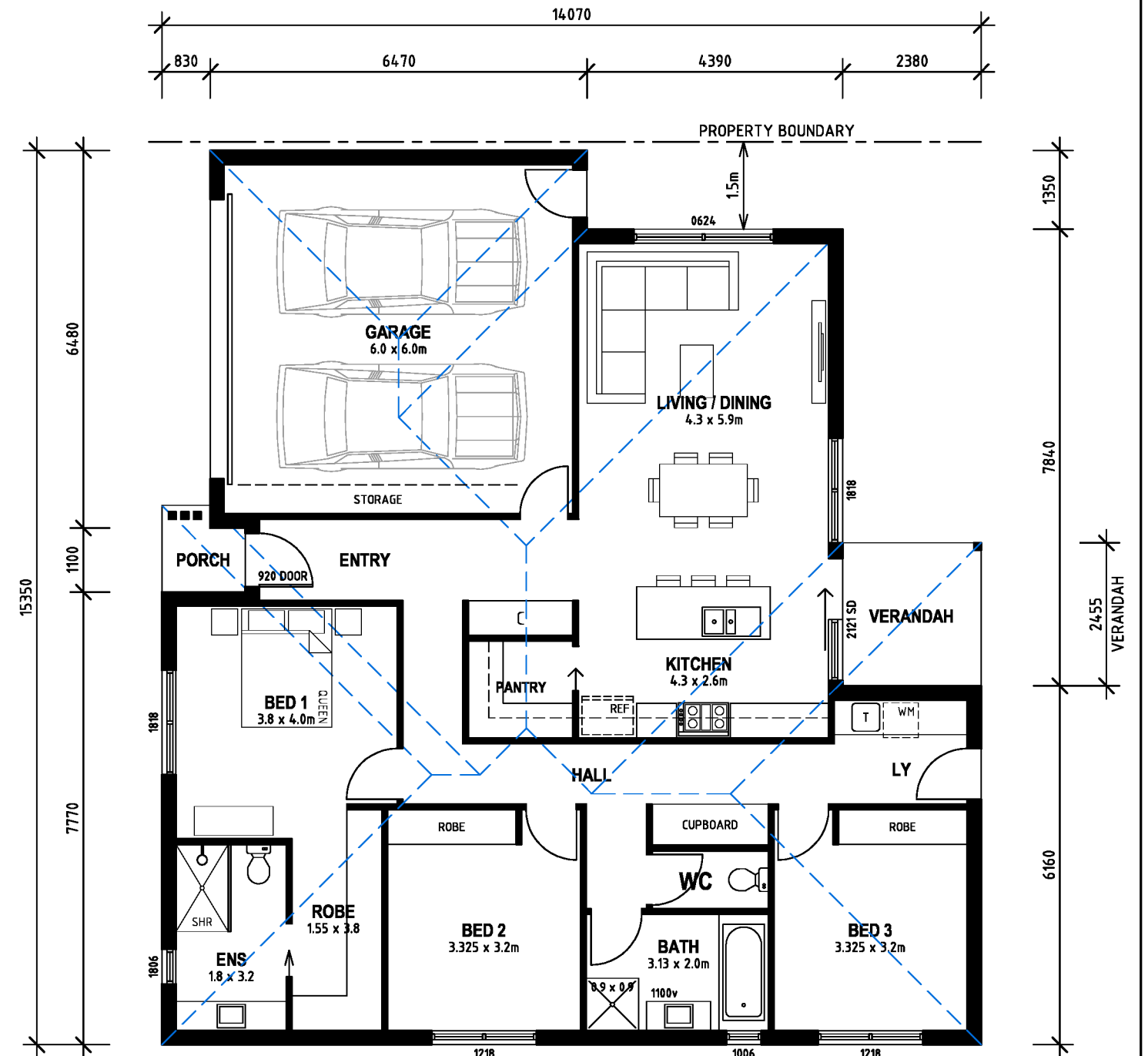
north elevation

1 : 125



west elevation

1 : 125



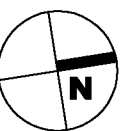
ITEM	COLOUR
BED 1, 2, 3	11.2m ²
ENTRY	2.5m ²
KITCHEN	3.2m ²
PANTRY	2.8m ²
HALL	2.8m ²
LAUNDRY	0.6m ²
BATH	0.4m ²
TOTAL	23.5m ²

TOWNHOUSE 1

Area	m ²	sq
House	141.9	15.23
Garage	39.3	4.22
Porch	7.7	0.83
TOTAL	188.9	20.28

floor plan

1 : 100



ITEM	COLOUR
ROOF	COLORBOND MONUMENT
GUTTER	COLORBOND NIGHT SKY
FASCIA	COLORBOND NIGHT SKY
BRICK	MIXED REDS
POSTS	LIGHT GREY
WINDOW FRAME	COLORBOND NIGHT SKY
ENTRY DOOR	LIGHT GREY
GARAGE DOOR	COLORBOND NIGHT SKY

external colours

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TOWNHOUSE 1 PLAN & ELEVATIONS

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project
3 x SINGLE STOREY TOWNHOUSES

address
128 PRINCE STREET
ROSEDALE

client
[REDACTED]

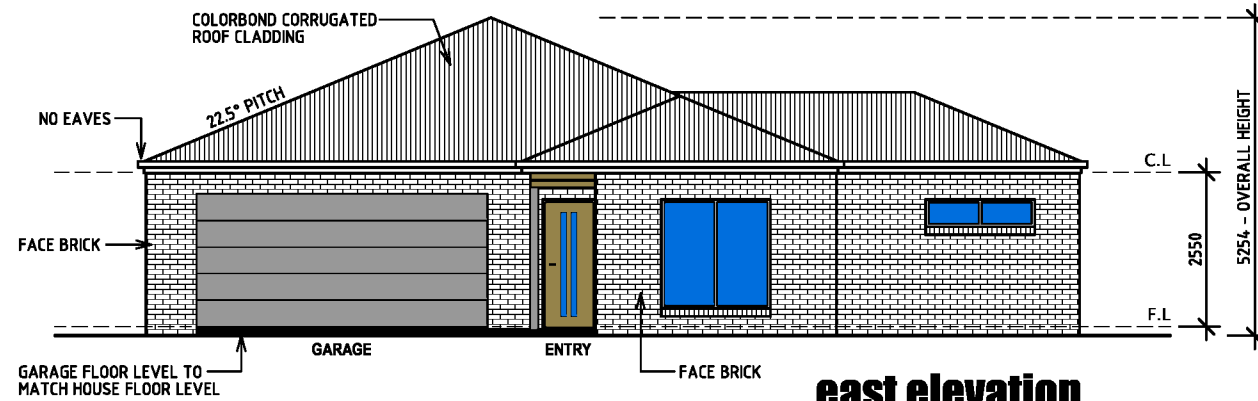
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05.08.25

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1 : 125

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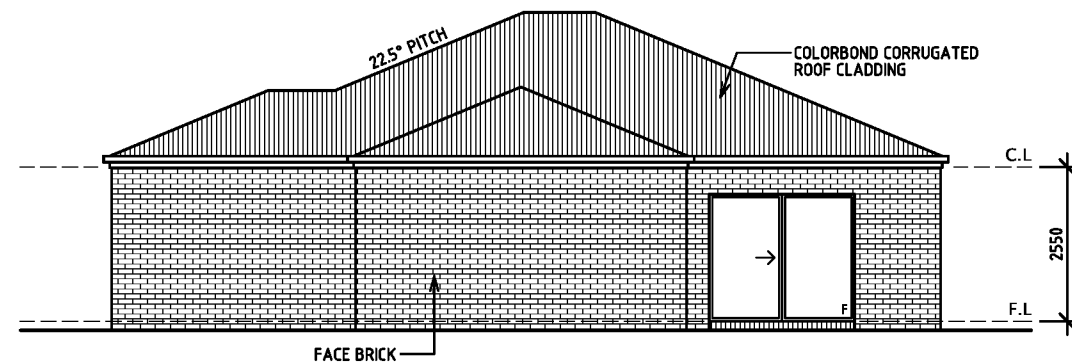
dwg no.
06

TOWNHOUSE 2



east elevation

1 : 100



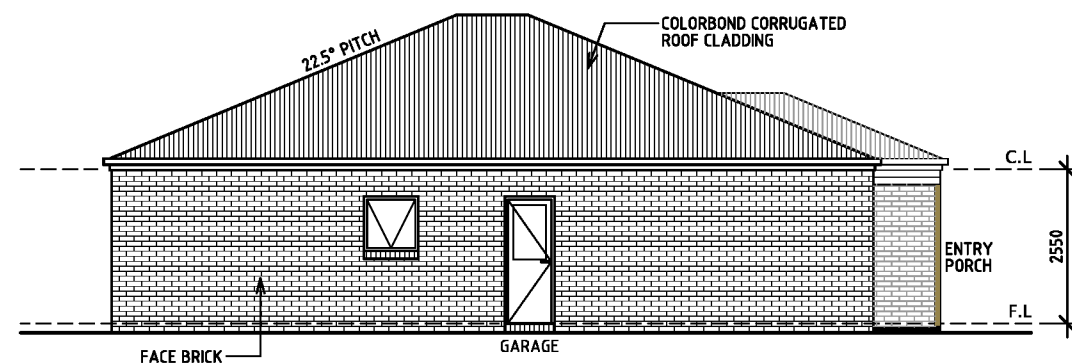
north elevation

1 : 125



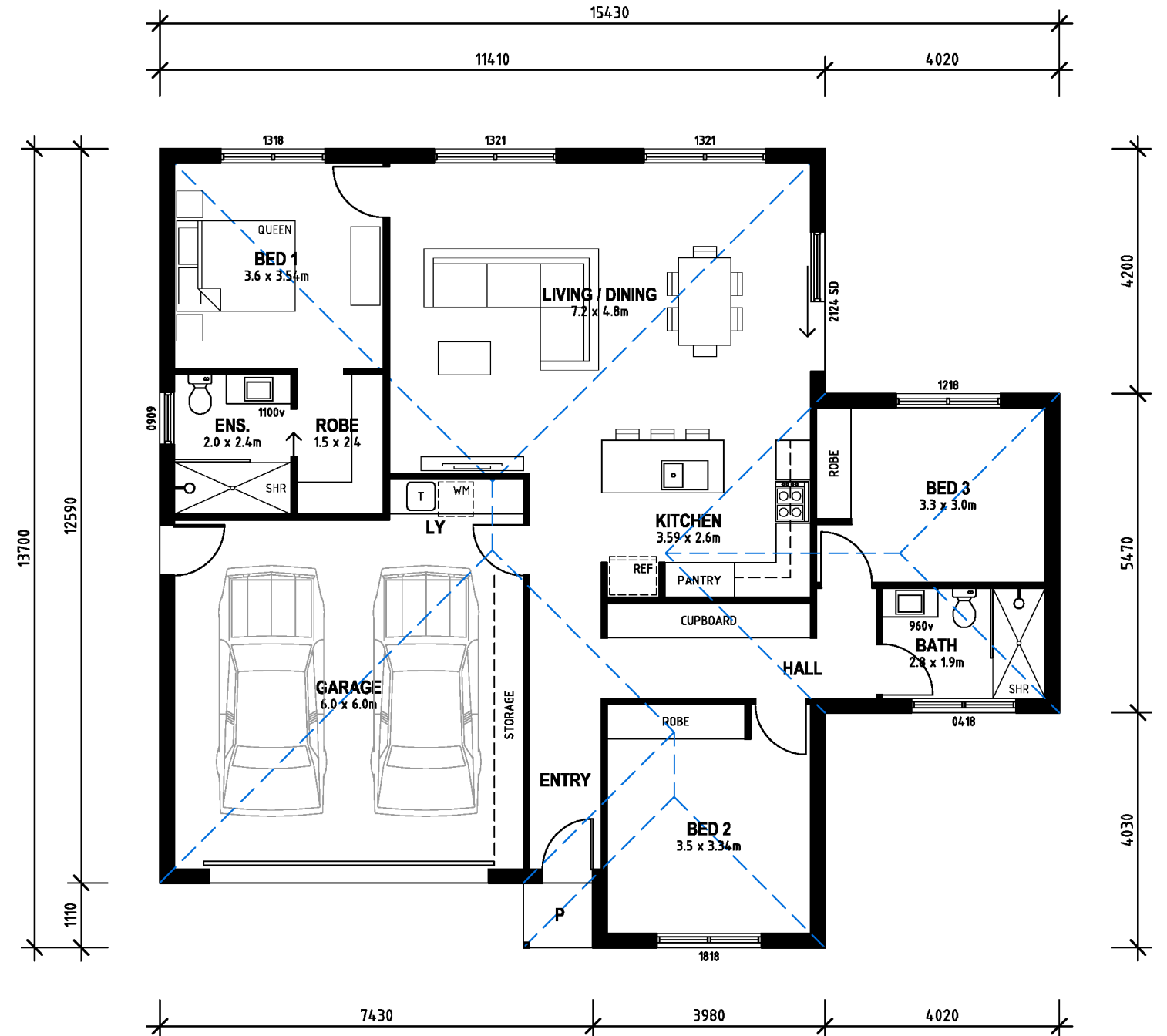
west elevation

1 : 125



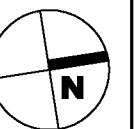
south elevation

1 : 125



floor plan

1 : 100



ITEM	COLOUR
ROOF	COLORBOND MONUMENT
GUTTER	COLORBOND NIGHT SKY
FASCIA	COLORBOND NIGHT SKY
BRICK	MIXED REDS
POSTS	LIGHT GREY
WINDOW FRAME	COLORBOND NIGHT SKY
ENTRY DOOR	LIGHT GREY
GARAGE DOOR	COLORBOND NIGHT SKY

external colours

INTERNAL STORAGE	
BED 1, 2, 3	8.9m ²
HALL	5.0m ²
KITCHEN	4.2m ²
LAUNDRY	0.6m ²
BATH	0.4m ²
	19.1m ²

TOWNHOUSE 2

Area	m ²	sq
House	129.6	13.91
Garage	40.6	4.36
Porch	1.3	0.14
TOTAL	171.5	18.41

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TOWNHOUSE 2 PLAN & ELEVATIONS

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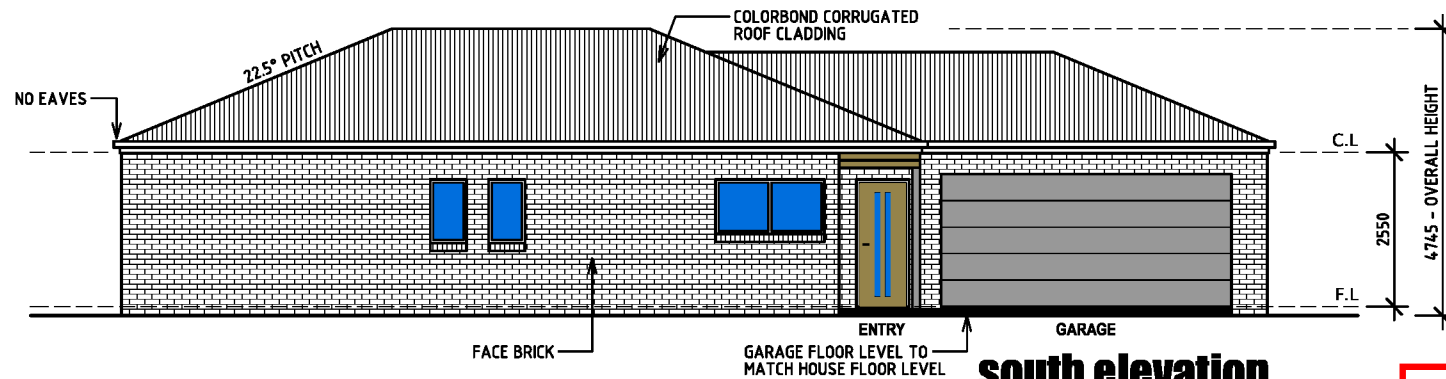
date
05.08.25

scale
1 : 100
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job no.
202520

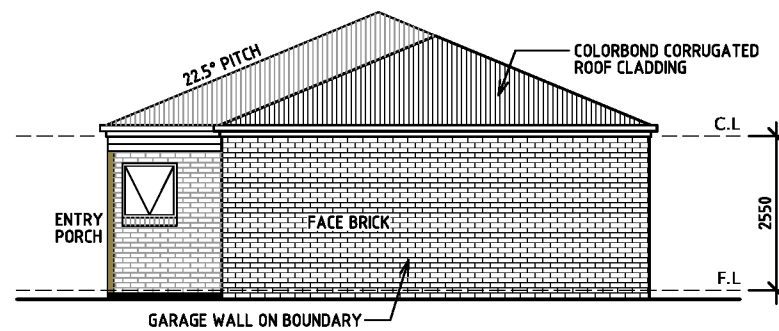
dwg no.
07

TOWNHOUSE 3



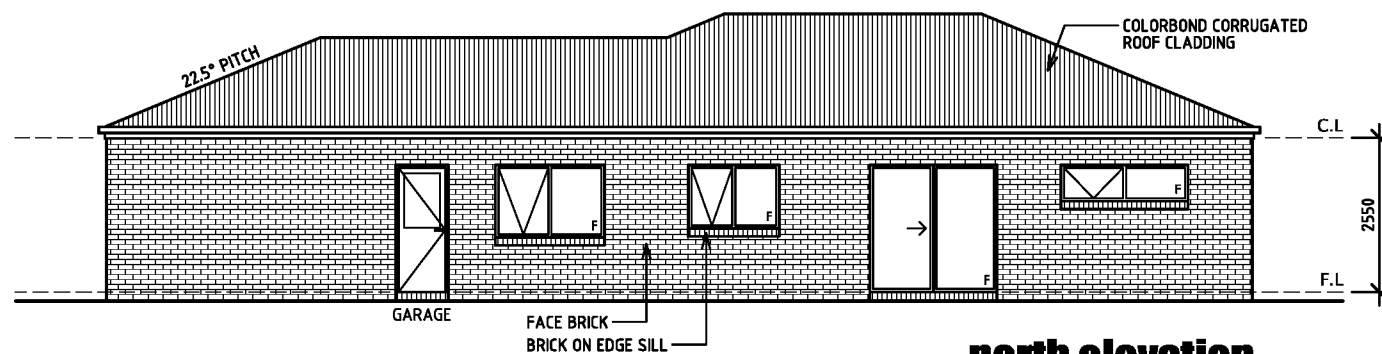
south elevation

1 : 100



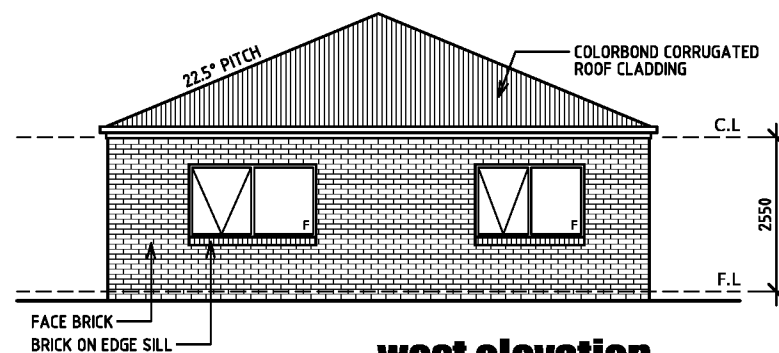
east elevation

1 : 125



north elevation

1 : 125



west elevation

1 : 125

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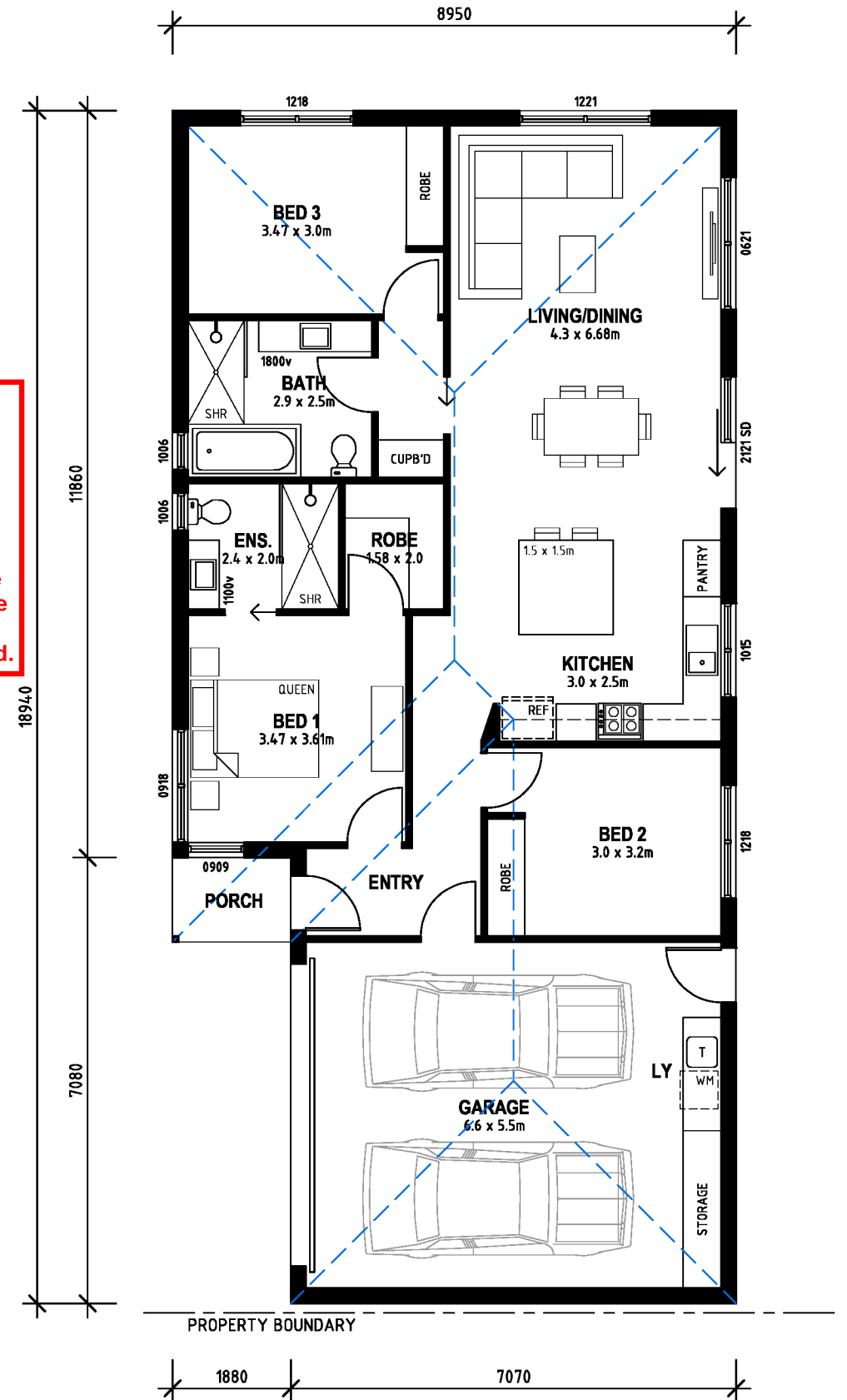
ITEM	COLOUR
ROOF	COLORBOND MONUMENT
GUTTER	COLORBOND NIGHT SKY
FASCIA	COLORBOND NIGHT SKY
BRICK	MIXED REDS
POSTS	LIGHT GREY
WINDOW FRAME	COLORBOND NIGHT SKY
ENTRY DOOR	LIGHT GREY
GARAGE DOOR	COLORBOND NIGHT SKY

external colours

INTERNAL STORAGE	
BED 1, 2, 3	7.8m ²
HALL	1.5m ²
KITCHEN	4.0m ²
LAUNDRY	3.2m ²
BATH	0.7m ²
	17.2m ²

TOWNHOUSE 3

Area	m ²	sq
House	115.6	12.41
Garage	40.6	4.36
Porch	2.5	0.27
TOTAL	158.7	17.04



floor plan

1 : 100

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TOWNHOUSE 3 PLAN & ELEVATIONS

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date
05.08.25

scale
1 : 100
1 : 125

job no.
202520

dwg no.
08