

SITE PLAN NOTE:
BUILDER TO VERIFY ALL BOUNDARY DIMENSIONS PRIOR TO SETTING OUT.

NO BUILDING WORKS ARE TO ENCROACH OVER THE TITLE BOUNDARY INCLUSIVE OF ANY EQUIPMENT USED ON, OVER, UNDER OR IN AIR SPACE OF THE ADJOINING PROPERTIES WITHOUT OBTAINING ADJOINING OWNERS CONSENT VIA PROTECTION WORKS NOTICES PURSUANT TO PART 7 OF THE BUILDING ACT 1993 AND & BUILDING REGULATION 602.

DRAINER MUST REFER TO START WORK NOTICE FOR SEWER POINT LOCATION.

SEWERAGE AND SULLAGE TO CONNECT TO SEWERAGE MAIN AS DIRECTED BY LOCAL AUTHORITIES.

SITE TO BE SCRAPED LEVEL OVER PROPOSED BUILDING AREA WITH FINISHED GROUND TO BE GRADED AWAY FROM BUILDING.

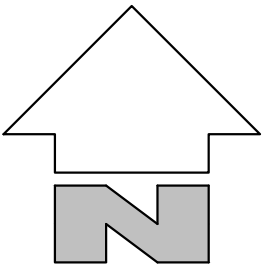
BEFORE & DURING CARRYING OUT OF BUILDING WORK & EXCAVATIONS, THE ALLOTMENT SHOULD BE FENCED OR OTHERWISE GUARDED AGAINST BEING A DANGER TO LIFE OR PROPERTY.

THE MAXIMUM GRADIENT OF THE DRIVEWAY SHALL NOT EXCEED 1:5.

NOTE:

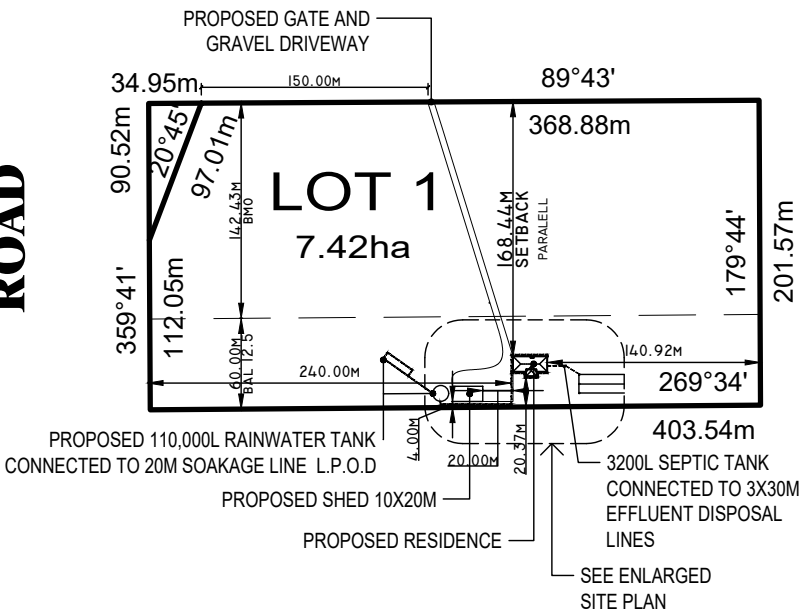
BUILDER TO CHECK EXCAVATION LEVELS ON SITE PRIOR TO COMMENCEMENT.

BAL RATING: 12.5
WIND CLASS: N3



BOISDALE-NEWRY ROAD

HARVEY'S ROAD




LOCATION PLAN
SCALE 1:1500

RESCODE SITE ANALYSIS:

NO RESCODE ANALYSIS NEEDED AS DWELLING IS ON A LARGE BLOCK WITH ADJOINING PROPERTIES FURTHER THAN 9.0M AWAY.

CUT TO BE 1.0m MINIMUM FROM EDGE OF BUILDING AND BATTERED BACK AT 45° MAX. UNLESS OTHERWISE INDICATED. GROUND ADJACENT TO DWELLING SHALL BE GRADED AWAY FROM DWELLING AT A 1:20 GRADE. CUT OUTSIDE HOUSE LINE TO FALL AWAY FROM HOUSE TO TOE OF BATTER BY 75mm MIN.

AG DRAIN TO BASE OF CUT AND CONNECTED TO SILT PIT =  SILT PIT TO BE CONNECTED TO STORMWATER.

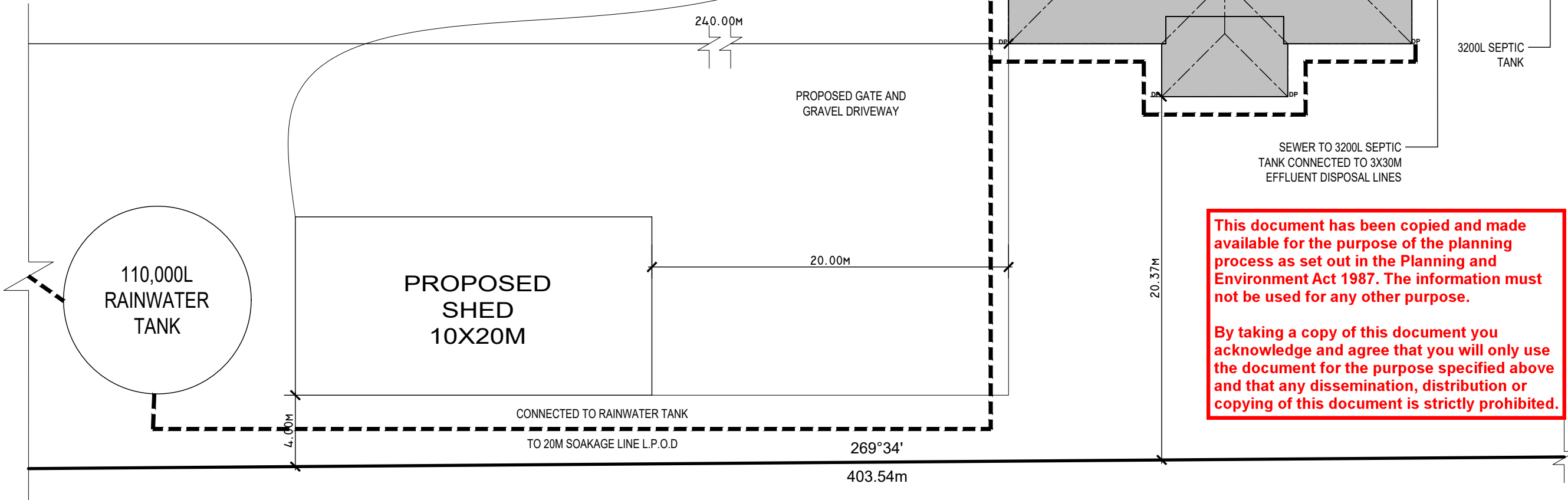
STORMWATER DRAIN NOTE:

PROVIDE 100mm DIAMETER P.V.C STORMWATER PIPE WITH MINIMUM FALL OF 1:100.

STORMWATER DRAIN LAYOUT IS INDICATIVE ONLY & WILL BE LAID AT THE DRAINERS' DISCRETION.

PROVIDE SELECTED DOWNPIPES AT 12.0m MAXIMUM CENTRES.

CONNECT STORMWATER TO RAINWATER TANK AND DISCHARGE TO THE OVERFLOW ON PROPERTY AS ACCEPTED BY LOCAL AUTHORITIES..



SITE PLAN
SCALE 1:250

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01

BUILDER:
BEDGGOOD & CLARK BUILDERS
PO BOX 401
MAFFRA VIC 3860
03 5147 2550

CONTRACTOR MUST VERIFY ALL DIMENSIONS AND LEVELS AT THE JOB PRIOR TO COMMENCING ANY WORK OR MAKING ANY SHOP DRAWINGS.
DO NOT SCALE DRAWINGS.
ALWAYS USE WRITTEN DIMENSIONS.



JOB ADDRESS:
LOT 1 HARVEY'S ROAD
BOISDALE VIC 3860

DRAWN: SD

SHEET: 01

CHECKED: DPAD 15038

TIME: 2:00 PM

DATE: 02/06/2021

SCALE: AS SHOWN

DRAFT No: FINAL

PLANS APPROVED:
CLIENT SIGNATURE:
DATE:

CODE: HO DESIGN TYPE: YERING 248_MOD.

TYPE: NH REVISION: JOB No:

ISSUE: BI

21368



FLOOR PLAN

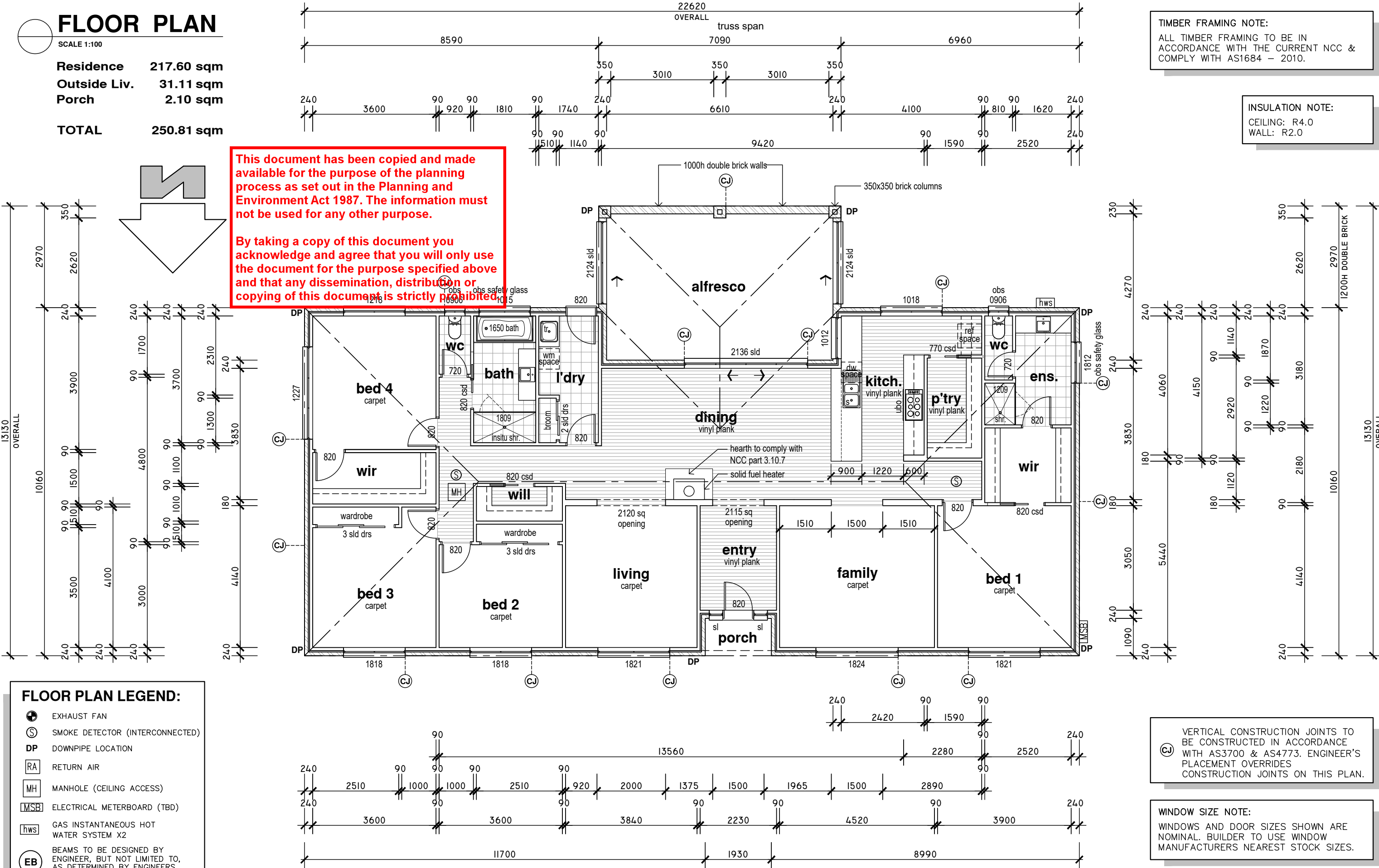
SCALE 1:100

Residence 217.60 sqm
Outside Liv. 31.11 sqm
Porch 2.10 sqm

TOTAL 250.81 sqm

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TIMBER FRAMING NOTE:

ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH THE CURRENT NCC & COMPLY WITH AS1684 – 2010.

INSULATION NOTE:

CEILING: R4.0
WALL: R2.0

FLOOR PLAN LEGEND:

- EXHAUST FAN
- SMOKE DETECTOR (INTERCONNECTED)
- DOWNPIPE LOCATION
- RETURN AIR
- MANHOLE (CEILING ACCESS)
- ELECTRICAL METERBOARD (TBD)
- GAS INSTANTANEOUS HOT WATER SYSTEM X2
- BEAMS TO BE DESIGNED BY ENGINEER, BUT NOT LIMITED TO, AS DETERMINED BY ENGINEERS STRUCTURAL ASSESSMENT.

VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4773. ENGINEER'S PLACEMENT OVERRIDES CONSTRUCTION JOINTS ON THIS PLAN.

WINDOW SIZE NOTE:

WINDOWS AND DOOR SIZES SHOWN ARE NOMINAL. BUILDER TO USE WINDOW MANUFACTURERS NEAREST STOCK SIZES.

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BUILDER:
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03 5147 2550

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JOB ADDRESS:
LOT 1 HARVEY'S ROAD
BOISDALE VIC 3860

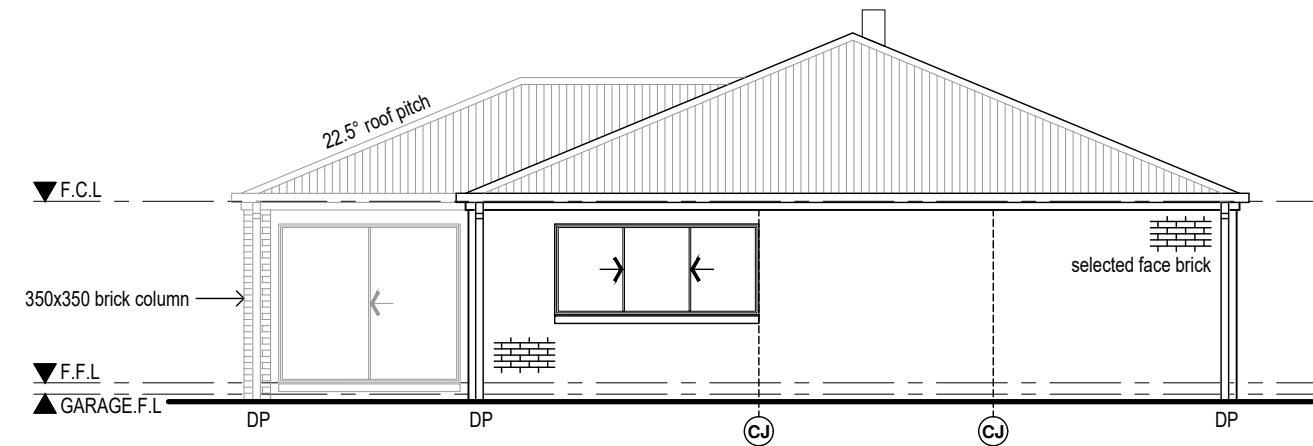
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CHECKED: DPAD 15038
DATE: 02/06/2021
SCALE: 1:100
SHEET: 02
TIME: 2:00 PM
DRAFT No: FINAL

PLANS APPROVED:
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REVISION:
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ISSUE: BI

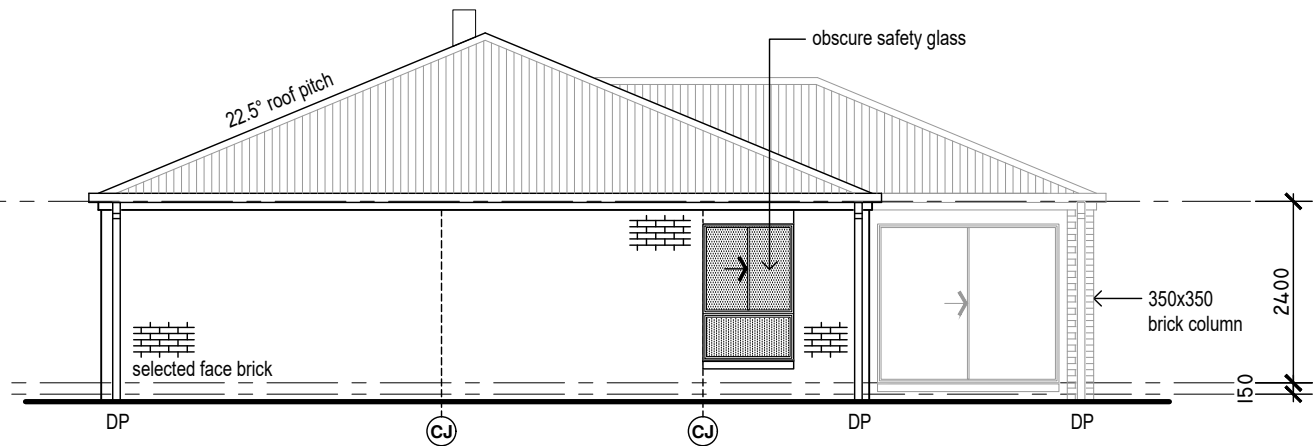
TIMBER FRAMING NOTE:
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VERTICAL CONSTRUCTION JOINTS TO BE CONSTRUCTED IN ACCORDANCE WITH AS3700 & AS4733.

WEEP HOLES TO BRICKWORK MUST BE PROVIDED IN THE COURSE IMMEDIATELY ABOVE ANY DAMP PROOF COURSE OR FLASHING AT CTRS. NOT EXCEEDING 1.2m.



EAST ELEVATION
SCALE 1:100



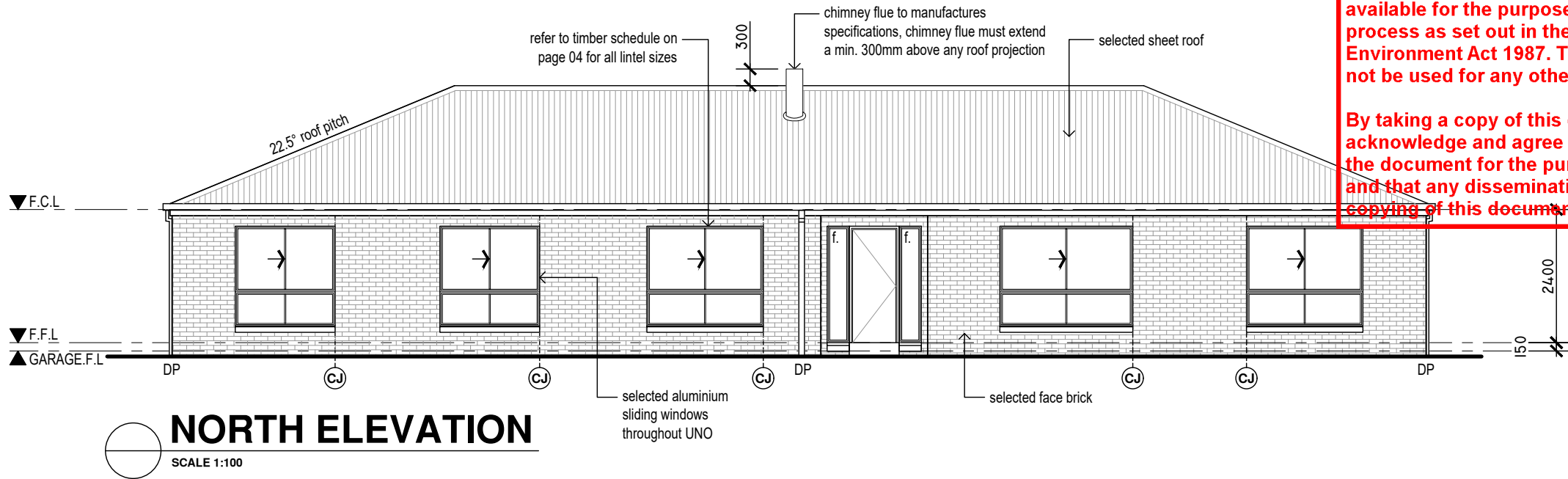
WEST ELEVATION
SCALE 1:100

PROVIDE STRUCTURAL BRACING IN ACCORDANCE WITH AS1684 – 2010.

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SOUTH ELEVATION
SCALE 1:100

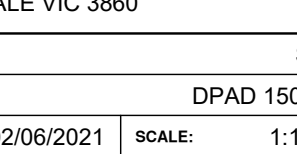


NORTH ELEVATION
SCALE 1:100

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