

CROSSOVER TO THE SUBJECT SITE FROM AYRES ROAD



DIMENSIONED AERIAL PHOTO OF THE SUBJECT SITE



MAGNIFIED VIEW OF THE DEVELOPED NORTHWEST PORTION OF THE SUBJECT SITE



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ADJOINING PROPERTIES:

The subject site abuts:

- Lot 2 on PS306823Y along its 1,566.01 metre long, dog-legged north boundary for a distance of 1,401.39 metres across all boundaries. This property has area of 75.73 hectares formed in an irregular shape. It is vacant of improvements, apart from a gravel track that bisects it in an east-west direction. Otherwise, it is fenced with a post and wire treatment and mostly covered in pasture grass. Bruthen Creek traverses through the southern portion of this property before entering the subject site. Access to this property is available via a thin access leg that connects back to Balloong Road on its west boundary;
- Lot 3 on PS306823Y along the eastern boundary. This property has area of 60.65 hectares formed in an irregular shape. It accommodates a farm shed in its northeast portion that is located approximately 730 metres from the common boundary with the subject site. Otherwise, it is fenced with a post and wire treatment and covered in pasture grass and the same coastal wetland as occupies the southeast perimeter of the subject site. Access to this property is available via a crossover to Reeves Beach Road, which abuts its eastern boundary;
- Crown Allotment 17A4, Section 2, Parish of Balloong along its 1,989.14 metre long, dog-legged eastern boundary for a distance of 128.11 metres at the north end. This property has area of approximately 24.8 hectares formed in an irregular shape. It is devoid of improvements and largely covered in coastal scrub and the same wetland as occupies the southeast perimeter of the subject site. Access to this property is available via its east boundary frontage to an unmade portion of Reeves Beach Road;
- Crown Allotment 52C, Parish of Balloong along the balance of its eastern boundary and its 1,642.3 metre long, dog-legged western boundary for a distance of approximately 270 metres at the south end. This property has area of approximately 189.5 hectares formed in an irregular shape and is set aside as a foreshore reserve. It is devoid of improvements and largely covered in coastal scrub and the same wetland as occupies the southeast perimeter of the subject site. Access to this property is available via its north boundary frontage to Foreshore Road;
- Ayres Road along the centre of its west boundary for a distance of approximately 880 metres. This road reserve is only made at the northern tip of the abuttal, where it comprises a two-way gravel track, with grassed shoulders and rural style drainage down both sides. It connects back to Balloong Road approximately 550 metres from the frontage to the subject site; and,
- 1188 Balloong Road along the northern balance of its east boundary. This property has area of approximately 65.9 hectares formed in a rectangular shape. It accommodates a single dwelling in its northern portion that is located approximately 1,070 metres from the common boundary with the subject site. This property has been cleared and is covered in pasture grass. It appears to be used to graze livestock. Bruthen Creek bisects this property in an east-west direction. Access is gained via a crossover to Balloong Road that is opposite the dwelling.

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DIMENSIONED AERIAL PHOTO OF THE SUBJECT SITE WITH ADJOINING PROPERTIES LABELLED



ACROSS 1188 BALLOONG ROAD FROM AYRES ROAD



CROSSOVER TO 1188 BALLOONG ROAD



LOOKING EAST ALONG AYRES ROAD



LOOKING WEST ALONG AYRES ROAD



THE PROPOSAL:

It is proposed to construct a warehouse on the property in order to store all of the machinery and materials presently being stored outside.

This warehouse will be constructed with steel walls and roof and have dimensions of 18 metres x 66 meters x 8.4 metres (maximum height). It will sit on a concrete slab and be connected to reticulated electricity via a supply extension that is being negotiated with Ausnet Services.

It will be located 80 metres from the west boundary and be accessed via an extension to the existing gravel driveway. All stormwater falling on the roof of the warehouse will be collected in tanks to provide a fire-fighting & potable drinking water supply.

A site plan, floorplan and elevations of the proposed warehouse are provided below.

It is noted that all of the industrial related material and machinery to be stored in the shed will eventually be sold off and the shed will purely be used to store agricultural machinery. The landowner aims to complete this sell-off by mid-2026.

The landowner will not employ any staff, i.e. Ahmet and Emine will be the only people working on the farm or in the shed.

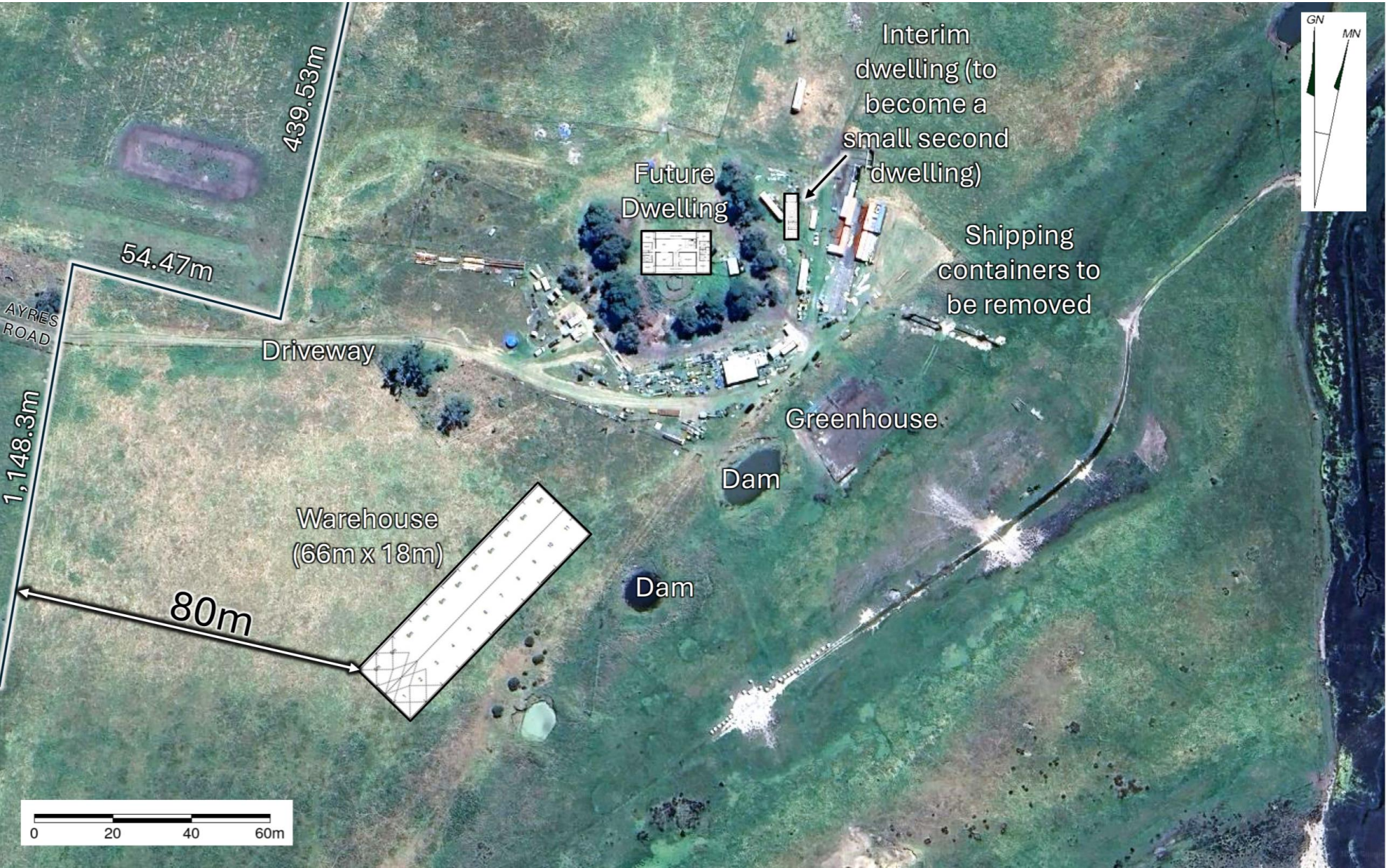
The landowner will also construct a small dwelling on the land to live in until a larger home can be built. Once that occurs the small dwelling will be used as a 'small second dwelling'.

It is noted that these two land uses and the building and works associated with them do not require a planning permit due to their setbacks from boundaries and locations outside the Environmental Significance Overlay (Schedule 2). It is also noted that the building and works are located outside the area with potential aboriginal heritage sensitivity.

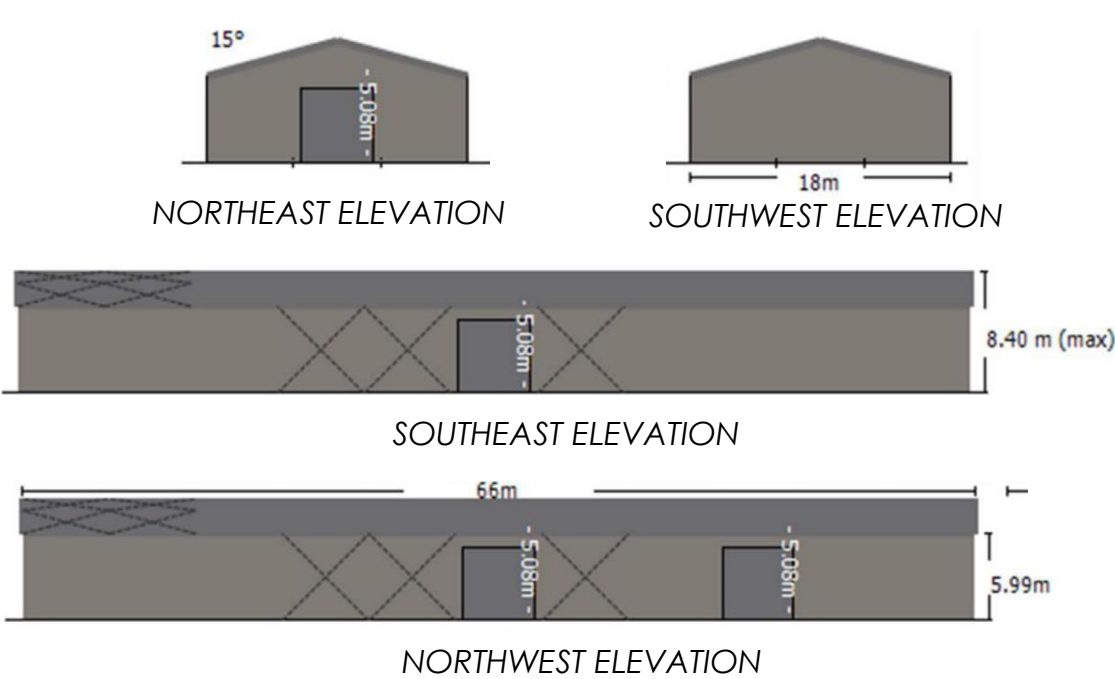
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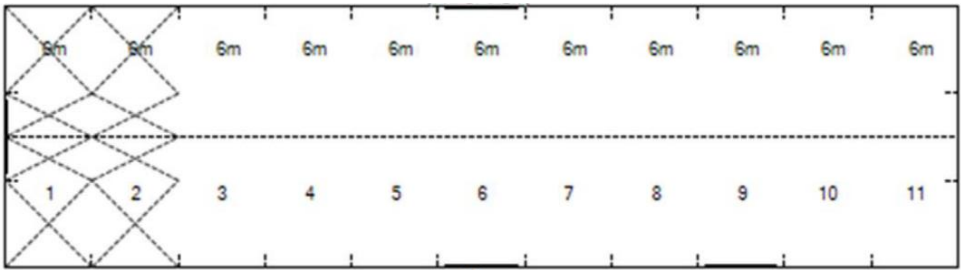
PROPOSED SITE PLAN



PROPOSED ELEVATIONS



PROPOSED FLOORPLAN



Planning Policy Framework & Municipal Planning Strategy:

The proposal involves the use and development of an 18m x 66m x 8.4m (high) steel warehouse (shed) 80 metres from the subject site's western boundary. This building will be used to store agricultural and industrial materials that are presently stored in shipping containers or outdoors. The land upon which the proposed use will sit is in the Farming Zone. However, upon the finalisation of the sell-off of the more industrial materials, equipment and machinery, the shed will be used purely to store agricultural equipment and produce, meaning it will become part of a Section 1 use.

As such, the proposal accords with the policy objectives of:

- **Clauses 11.01-1S, 11.01-1R and 11.01-1L** insofar as it will assist a farmer to store machinery and materials in a more appropriate manner that is less disruptive to the farming of surrounding land; and,
- **Clauses 14.01-1S, 14.01-1L** insofar as it will not remove a significant amount of viable agricultural land from production and will be used purely to support agriculture 18 months after the permit is issued.

The purpose of the zone and overlays:

The proposed use and development of the land with a warehouse has been designed to comply with the purpose of **Clause 35.07** by:

- Avoiding the loss of an extensive amount of productive agricultural land through the construction of an appropriate building to support a purely farming use on the land once the industrial material is sold off;
- Siting the warehouse 80 metres from the nearest boundary so as not to disrupt the use of the adjoining land for farming; and,
- Avoiding the need to remove any native vegetation.

Any matter required to be considered in the zone, overlay or other provision:

The proposed warehouse has been designed to comply with the decision guidelines set out at **Clause 35.07-6** by:

- Allowing enough space for all of the materials presently stored outdoors on the land to be stored undercover;
- Not requiring any additional staffing to attend the site so as to avoid disruption to surrounding farms from excessive amounts of traffic;
- Ensuring that all vehicle reversing movements associated with the use can be carried out on site;
- Limiting the extent of stormwater runoff by collecting all rain falling on the roof of the warehouse in tanks to provide a fire-fighting & potable drinking water supply for the proposed dwelling(s) on the land;
- Providing reticulated electricity to the warehouse so as to make best of use of available infrastructure; and,
- Avoiding the need for removal of any significant vegetation.

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Orderly Planning:

The proposed use and development of the land for a warehouse has been designed to avoid disrupting adjoining agricultural uses to the north and the wetland in the coastal reserve to the south. It does not represent a high risk to the amenity of nearby residential land uses, as all industrial materials presently being stored outdoors will be kept in a building with electricity and a concrete floor until they are sold. Council has consistently granted planning permits in similar circumstances. Hence, approval of the proposal will represent a consistent, or orderly approach to planning.

The effect on the amenity of the area:

The proposed warehouse will be used to store industrial materials that are presently stored outdoors. This will be achieved without disrupting or generating additional vehicle movements. Hence, no external landowners will suffer an increased impact upon their amenity.

Factors likely to cause or contribute to land degradation, salinity or reduce water quality

The proposed warehouse use does not necessitate any significant works near any declared watercourses and all stormwater will be collected in tanks for re-use. So, it won't lead to land degradation or water quality impacts.

Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site

As above.

The extent and character of native vegetation and the likelihood of its destruction:

The proposed warehouse has been designed to avoid the removal of any significant native vegetation.

Whether native vegetation is to be or can be protected, planted or allowed to regenerate:

As above.

The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.

The subject site is not identified as being subject to erosion or flood hazard. It is in a bushfire prone area and this will be considered at building permit stage.

The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.

The proposed warehouse is located 80 metres from the west boundary road frontage. So, it will not disrupt vehicle access into the site, or vehicle movements on Ayres Road generally.

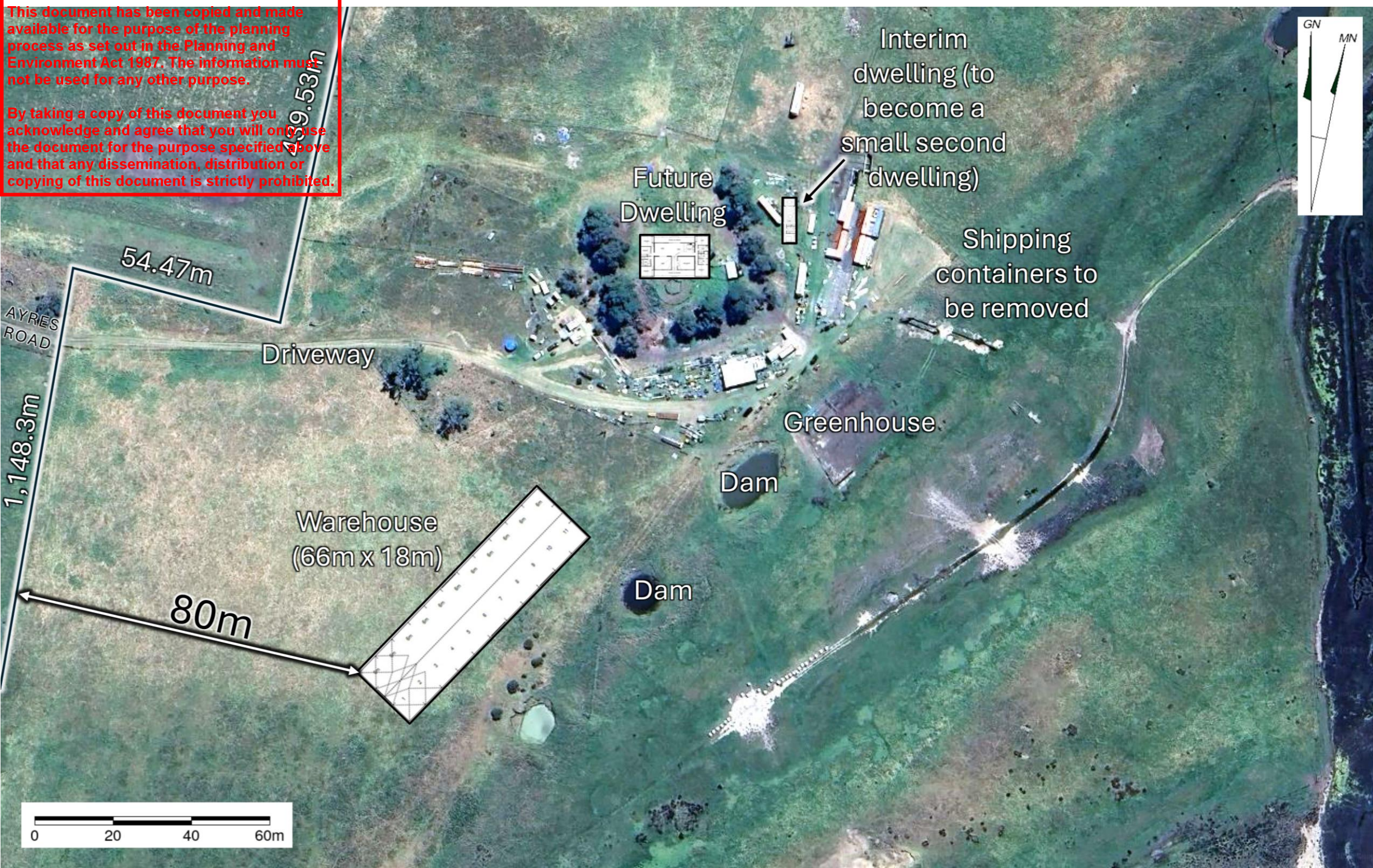
The impact the use or development will have on the current and future development and operation of the transport system.

As above.

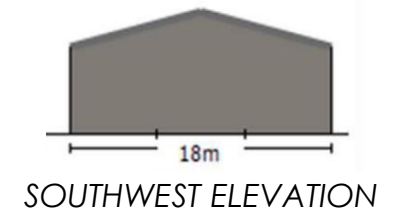
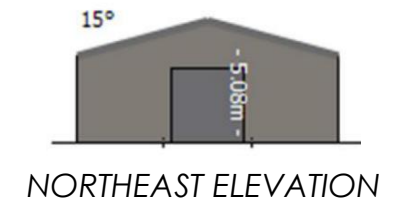
PROPOSED SITE PLAN

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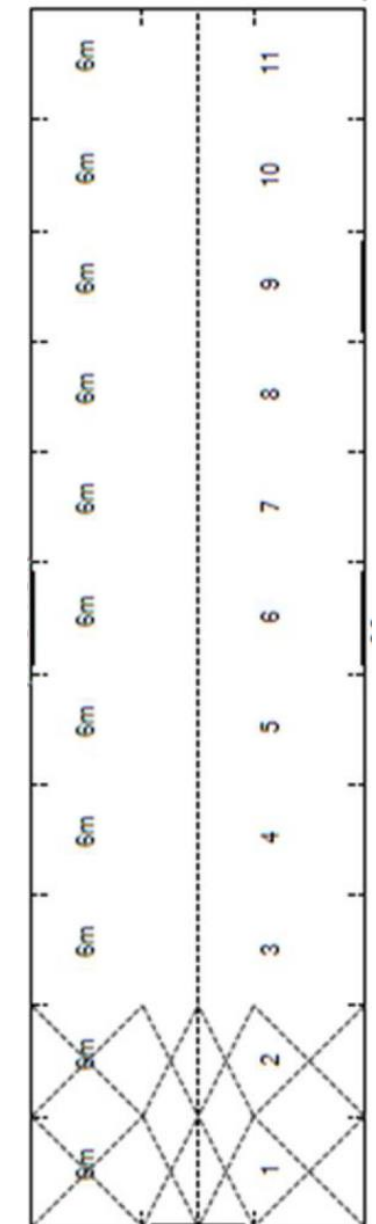
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PROPOSED ELEVATIONS



PROPOSED FLOORPLAN



PROPOSED ELEVATIONS

