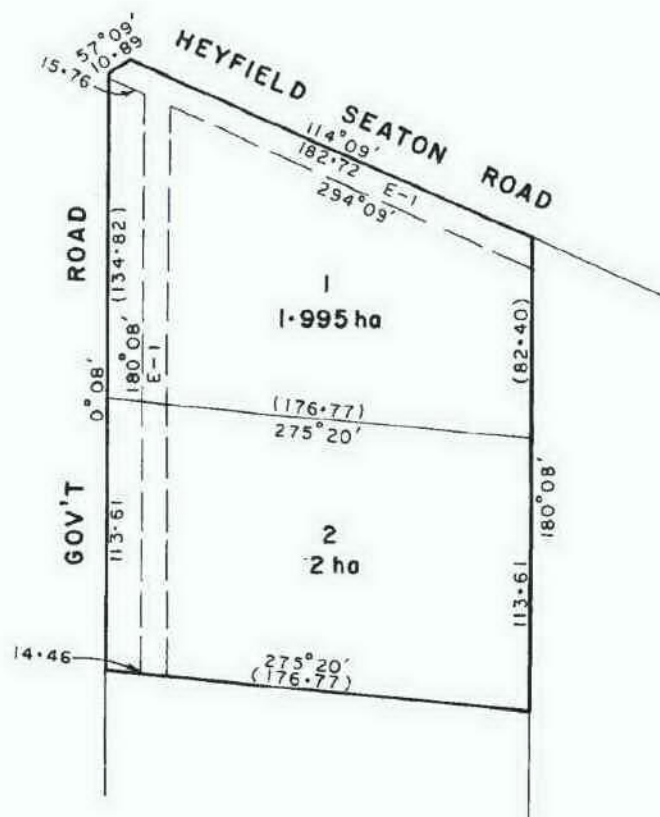


PLAN OF SUBDIVISION	Stage No.	Plan Number
		PS 316770 M

This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.



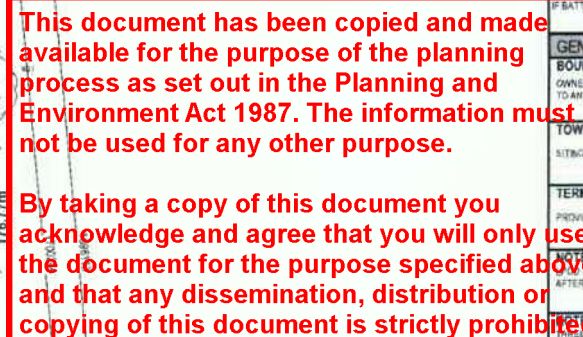
J. D. Mulcahy,
123 Johnson st.
Maffra 3860
Phone 051 47 2126

Sheet 2 of 2 sheets

ORIGINAL	SCALE	LICENSED SURVEYOR (PRINT) J. D. Mulcahy	DATE / /
SCALE 1:2000	SHEET SIZE A3	SIGNATURE	COUNCIL DELEGATE SIGNATURE
	20 0 40 80 LENGTHS ARE IN METRES	REF 1361	VERSION
			Original sheet size A3

0 10 20 30 40 50 60 70 80 90 100 mm

T.O.2



SITING INFORMATION		
SITE AREA	BUILDING AREA	SITE COVERAGE
2.00 ha	323.01M ²	1.62 %
PAVING AREA	BLDG+PAV AREA	PERMEABILITY
N/A	354.59 M ²	98.23 %
GARDEN AREA	GARDEN PER	POS
N/A	N/A	N/A

HOUSE INFORMATION	
SITE SCAPE RL	98.850
HOUSE FFL	GARAGE FFL
99.190	99.155
SLAB TYPE	SLAB HEIGHT
WAFFLE	340mm

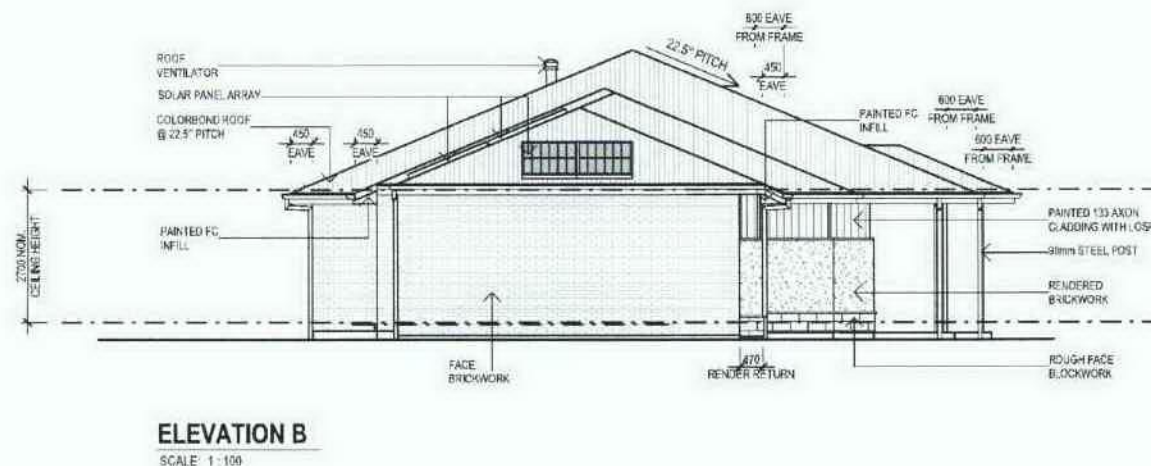
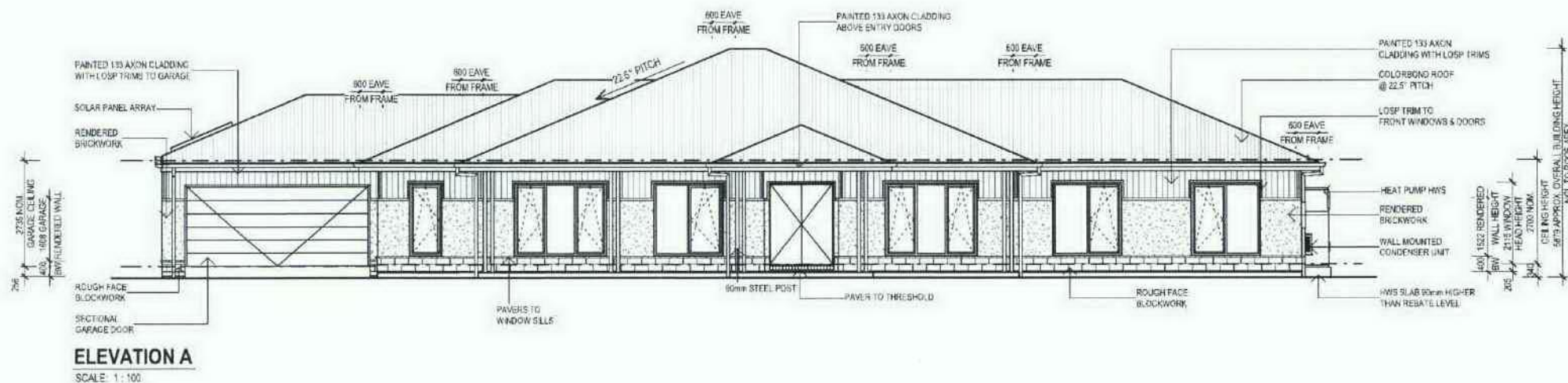
SITE SCAPE INFORMATION	
PROVIDE SITE SCAPE TO REMOVE ALL SURFACE VEGETATION AND PROVIDE LEVEL BUILDING PLATFORM PROVIDE AN ADDITIONAL SITE SCAPE TO GARAGE AREA TO BUILT A 1000mm STEPS DOWN IF BATTERS ARE TO BE PROVIDED THEY WILL BE AT A 45° ANGLE	

GENERAL NOTES	
BOUNDARY FENCE(s) REQUIRED OWNER TO PROVIDE PERIMETER FENCING TO A MINIMUM HEIGHT OF 1800MM TO ALL UNFINISHED BOUNDARIES	
TOWN PLANNING REQUIRED SITING SUBJECT TO TOWN PLANNING APPROVAL	
TERMITES TREATMENT REQUIRED PROVIDE TERMITES TREATMENT IN ACCORDANCE WITH AS 3608 ALL SOILS TO BE INSPECTION/CONTAINED ON-SITE. LPOD TO BE DETERMINED AFTER PLANNING PERMIT WITH DRAINAGE DESIGN HAS BEEN ISSUED. UTILITY PIPES AND POWER REQUIRED TO BE LOCATED AFTER PLANNING PERMIT TO BE DETERMINED UTILITY PIPES AND POWER FOR NEW UNDERGROUND PIT TO BE INSTALLED ADJACENT TO EXISTING POWER POLE BY OWNER.	

BUSHFIRE ATTACK LEVEL (BAL)	
BAL 12.5	EMBER ATTACK
ALL HOMES TO COMPLY WITH AS 3969-2018 (BAL)	

WIND SPEED INFORMATION	
THE MAXIMUM DESIGN WIND SPEED FOR THIS SITE IS: N2-40 m/s THE WIND SPEED CALCULATION HAS BEEN TAKEN FROM THE JOBSITE SPECIFIC SOIL REPORT OUR STANDARD HOMES ARE DESIGNED TO SURT A WIND GUST SPEED OF 33 m/s	

SITE DRAINAGE INFORMATION	
SITE DRAINAGE MUST COMPLY WITH NCC 3.1.2 DRAINAGE AND AS 3596 - 3-2022 PLUMBING AND DRAINAGE GRADE ALL SURFACES AWAY FROM FOOTINGS WITH A MIN 1:20 FALL PROVIDE TEMPORARY DOWNPIPES CONNECTED TO STORMWATER AS SOON AS THE ROOF CLADDING IS COMPLETE. DURING CONSTRUCTION DOWNPIPES MAY BE REMOVED FOR OPERATION PROCEDURES ALL STORMWATER DRAINS ARE TO BE CONNECTED TO THE NOMINATED LEGAL POINT OF DISCHARGE REFER TO ENGINEERS DESIGN FOR STORMWATER DRAINAGE DESIGN AND LAYOUT CLIENT ANTHONY JOSEPH BARANOWSKI & JACKLYN ELIZABETH GRAY ADDRESS LOT 2, NO.17 BRICKHILL ROAD SUBURB HEYFIELD VIC 3858 JOB NO 2508TRA328 DRAWN CHECKED JOB DATE 12/09/2022 PROJECT STAGE CONTRACT MASTER RELEASE DATE SHEET NO TOTAL NO 10/09/2024 02 of 02	



This document has been copied and made available for the purpose of the planning process as set out in the Planning and Environment Act 1987. The information must not be used for any other purpose.

By taking a copy of this document you acknowledge and agree that you will only use the document for the purpose specified above and that any dissemination, distribution or copying of this document is strictly prohibited.

GENERAL NOTES - WINDOWS HEAD HEIGHT (DIMENSION) TO BE TAKEN TO THE NEAREST BRICK COURSE UNLESS NOTED OTHERWISE. - ALL GLAZING TO COMPLY WITH A.S. 1288-2021 (REFER TO ENERGY RATING FOR ALL GLAZING UNLESS A DIFFERENT SET). - HWS - HOT WATER SYSTEM - HWS - HOT WATER SYSTEM - MBS - METER BOX - G - GAS METER	CLIENT ACKNOWLEDGEMENT I HEREBY ACKNOWLEDGE THAT THIS CONTRACT DRAWING SET IS AN ACCURATE REPRESENTATION OF OUR REQUIREMENTS & I AGREE THAT THESE DRAWINGS ARE THE SOLE BASIS FOR THE CONSTRUCTION OF THE PROJECT AND I AGREE TO HOLD THE ARCHITECT HARMLESS FROM ANY CLAIMS OR DAMAGES ARISING FROM THE USE OF THESE DRAWINGS. CLIENT 1: _____ DATE 1: _____ CLIENT 2: _____ DATE 2: _____ JAR: _____ DATE 3: _____	SHEET TITLE ELEVATIONS HOUSE NAME: PEMBERTON 32 RANCH: _____ SHEET SCALE: 1:100 ORIGINAL SHEET SIZE: A3 COPYRIGHT: 2025	CLIENT ANTHONY JOSEPH BARANOWSKI & JACKLYN ELIZABETH GRAY ADDRESS LOT 2, NO. 17 BRICKHILL ROAD SUBURB HEYFIELD VIC 3858 JOB NO 2508TRA328 JOB DATE 12/09/2025 DRAWN JAR CHECKED MOB PROJECT STAGE CONTRACT MUSTER RELEASE DATE 10/09/2024 SHEET NO 05 TOTAL NO 25	JG KING HOMES 154 ARGOVIL STREET TRARALGON, VIC 3844 T: 03 5125 0092	CLIENT ANTHONY JOSEPH BARANOWSKI & JACKLYN ELIZABETH GRAY ADDRESS LOT 2, NO. 17 BRICKHILL ROAD SUBURB HEYFIELD VIC 3858 JOB NO 2508TRA328 JOB DATE 12/09/2025 DRAWN JAR CHECKED MOB PROJECT STAGE CONTRACT MUSTER RELEASE DATE 10/09/2024 SHEET NO 05 TOTAL NO 25
---	--	--	---	--	---